

ORDINANCE NO. _____

AN UNCODIFIED ORDINANCE OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA ADOPTING ZONE CHANGE 24-01 AND REZONING CERTAIN LAND FROM THE C1(H) “LOCAL BUSINESS” DISTRICT (“HOUSING OVERLAY”), C2(H) “GENERAL BUSINESS” DISTRICT (“HOUSING OVERLAY”), CC(H) “COMMUNITY COMMERCIAL” DISTRICT, CH(H) “COMMERCIAL HIGHWAY” DISTRICT, AND RP “RESIDENTIAL PROFESSIONAL” DISTRICT TO THE “MIXED-USE” DISTRICT; AND REZONING CERTAIN LAND FROM THE R2D “TWO-FAMILY” DISTRICT TO THE R2 “MULTIFAMILY DWELLING” DISTRICT; AND REZONING CERTAIN LAND FROM THE R1 “SINGLE-FAMILY RESIDENCE” DISTRICT TO THE R4 “SUBURBAN MULTIFAMILY” DISTRICT AND ADOPTING ZONING CODE AMENDMENT 24-01 AMENDING DEVELOPMENT STANDARDS IN MULTIFAMILY ZONING DISTRICTS TO HAVE A MINIMUM REQUIREMENT OF 30 DWELLING UNITS PER ACRE

WHEREAS, pursuant to California Government Code Section 65000 *et seq.*, the County of Orange has adopted a General Plan and Zoning Code that meets all of the requirements of State law; and

WHEREAS, the County of Orange (“County”) has prepared the Zone Change (attached hereto as Exhibit A) and Zoning Code Amendments (attached hereto as Exhibit B) to apply to certain parcels in the Unincorporated area; and

WHEREAS, in accordance with the California Environmental Quality Act (California Public Resources Code, Sections 21000 *et seq.*) (“CEQA”) and the CEQA Guidelines (Title 14, California Code of Regulations, Sections 15000, *et seq.*) (“CEQA Guidelines”) and the County’s CEQA Procedures Manual, the County, as Lead Agency, has prepared Initial Study/Negative Declaration (IS/ND) No. IP 22-0133, and Addendum No. 1 to Initial Study/Negative Declaration (IS/ND) No. IP 22-0133; and

WHEREAS, IS/ND No. IP 22-0133 and Addendum No. 1 to IS/ND No. IP 22-0133 are in compliance with CEQA and the CEQA Guidelines and is a Negative Declaration as defined by CEQA Guidelines Section 15074, and as such addressed the potentially significant environmental impacts associated with the Zone Change and Zoning Code Amendment; and

WHEREAS, based on the ND No. IP 22-0133 and Addendum No. 1 to ND No. IP 22-0133, it has been determined that the Zone Change and Zoning Code Amendment are within the scope of ND No. IP 22-0133 and Addendum No. 1 to ND No. IP 22-0133; and

WHEREAS, based on the Initial Study for Zone Change 24-01 and Zone Code Amendment 24-01, ND No. IP 22-0133, and Addendum No. 1 to ND No. IP 22-0133, it has been determined that potential environmental impacts related to the Zone Change and Zoning Code Amendment are less than significant; and

WHEREAS, on May 8, 2024, the Planning Commission issued its formal recommendation that this Board adopt, among other things, Zone Change 24-01 and Zoning Code Amendment 24-01 (see Planning Commission Resolution No. 2024-01, attached hereto as Exhibit C); and

WHEREAS, on June 25, 2024, this Board of Supervisors conducted a public hearing regarding Zone Change 24-01 and Zoning Code Amendment 24-01;

WHEREAS, this Board listened to and carefully considered all of the public comments and testimony presented during the public hearing identified above; and

WHEREAS, this Board has carefully reviewed and considered the comments and recommendations of the Planning Commission relative to adoption of Zone Change 24-01 and Zoning Code Amendment 24-01; and

WHEREAS, this Board has carefully reviewed and considered all of the environmental documentation prepared to evaluate the Zone Change and Zoning Code Amendment, including all elements of IS/ND No. IP 22-0133 and Addendum No. 1 to ND No. IP 22-0133, and the recommendations of the Planning Commission; and

WHEREAS, this Board has found IS/ND No. IP 22-0133 and Addendum No. 1 to IS/ND No. IP 22-0133, is complete and adequate in that it addresses all environmental effects of the Project and fully complies with the requirements of CEQA, the CEQA Guidelines and the County's environmental analysis procedures; and

WHEREAS, proposed Zone Change 24-01 and Zoning Code Amendment 24-01 are consistent with the objectives, policies and general land uses and programs specified in the General Plan, which General Plan was adopted pursuant to the State Planning and Zoning Law; and

WHEREAS, the location, size, design, and operating characteristics of the uses allowed by the Zone Change and Zoning Code Amendment will not create unusual noise, traffic or other conditions or situations that may be objectionable, detrimental, or incompatible with other permitted uses in the vicinity; and

WHEREAS, implementation of proposed Zone Change 24-01 and Zoning Code Amendment 24-01 will not result in conditions or circumstances contrary to the public health and safety and the general welfare; and

The Board of Supervisors of the County of Orange, California, ordains as follows:

SECTION 1. Zone Change 24-01, on file with OC Development Services and attached hereto as Exhibit A, is fully incorporated as if set forth herein and is hereby adopted in accordance with Section 7-9-132, *et. seq.* of the Codified Ordinances of the County of Orange.

SECTION 2. Due to location constraints, the following commercially zoned parcels are explicitly exempted from Zone Change 24-01 and will maintain their current zoning (Exhibit D):

- Costa Mesa Island – Parcels zoned for commercial uses
- Silverado Canyon – Parcels zoned for commercial uses along Silverado Canyon Road
- Banning Ranch – Parcels zoned for commercial uses along Pacific Coast Highway

SECTION 3. The Orange County Zoning Map is hereby amended in accordance with Sections 7-9-25.1, 7-9-25.2, 7-9-132.2, and 7-9-132.3 of the Codified Ordinances of the County of Orange by rezoning certain property covered by Zone Change 24-01 as set forth on Exhibit A, attached hereto and incorporated herein.

SECTION 4. Zoning Code Amendment 24-01, on file with OC Development Services and attached hereto as Exhibit B, is fully incorporated as if set forth herein and is hereby adopted in accordance with Section 7-9-132, *et. seq.* of the Codified Ordinances of the County of Orange.

SECTION 5. The Orange County Comprehensive Zoning Code is hereby amended in accordance with Section 7-9-132, *et. seq.* of the Codified Ordinances of the County of Orange by amending certain provisions covered by Zoning Code Amendment 24-01 as set forth in Exhibit B, attached hereto and incorporated herein.

SECTION 6. This Ordinance shall take effect and be in full force thirty (30) days from and after its passage, and before the expiration of fifteen (15) days after the passage thereof shall be published once in an adjudicated newspaper in the County of Orange.

BE IT FURTHER RESOLVED that the Board of Supervisors adopts Zone Change ZC 24-01.

The foregoing ordinance was carried by the following vote:

Ayes:

Noes:

Absent:

I HEREBY CERTIFY that the foregoing Ordinance No. ____ was adopted on _____, _____, by the Orange County Board of Supervisors.

ORANGE COUNTY BOARD OF SUPERVISORS

By:

Exhibits:

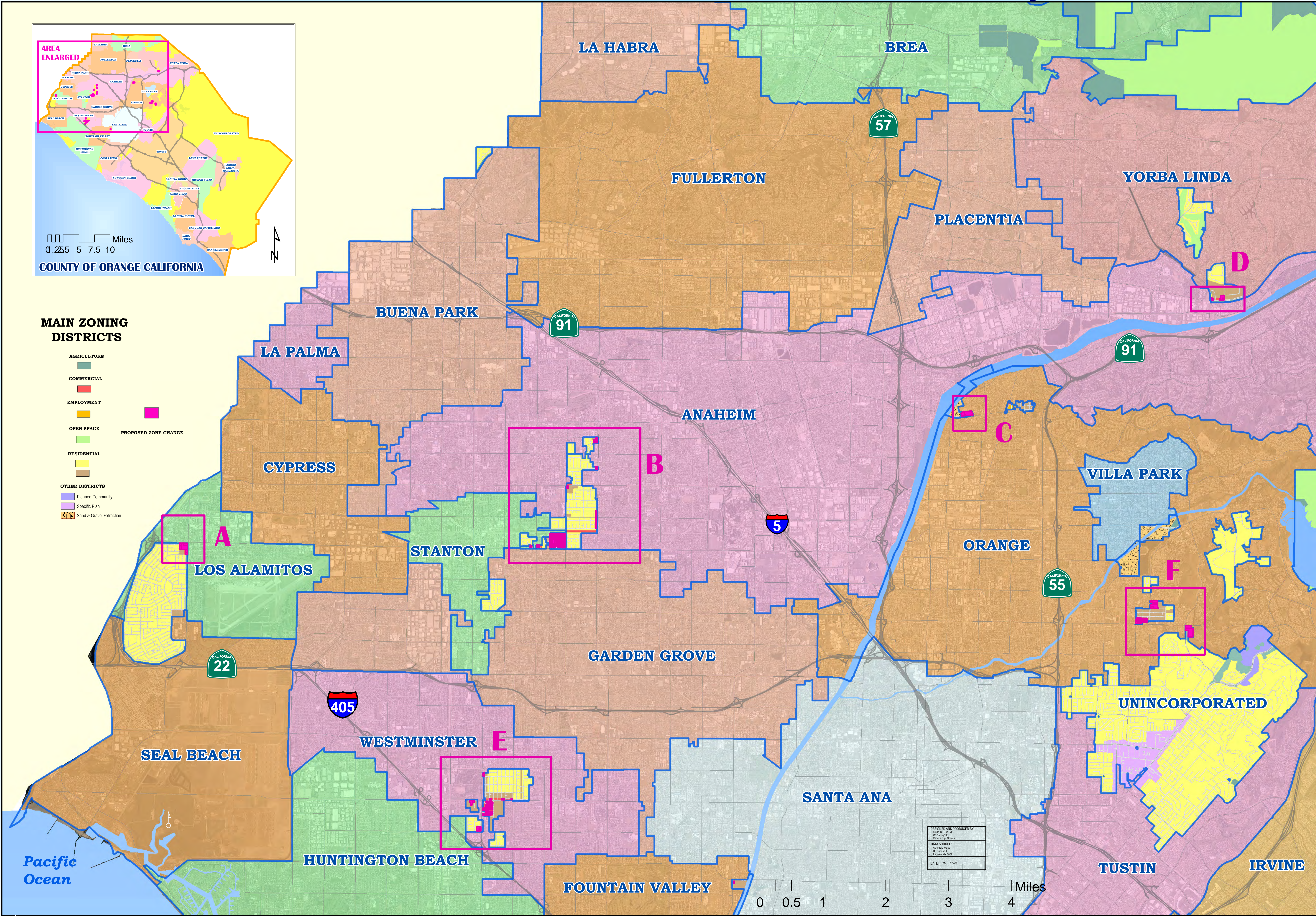
- A: Zone Change ZC 24-01
- B. Zoning Amendment CA 24-01
- C. Planning Commission Resolution No. 2024-01
- D. List of Parcels Excluded from Zone Change ZC 24-01

PROPOSED ZONE CHANGES

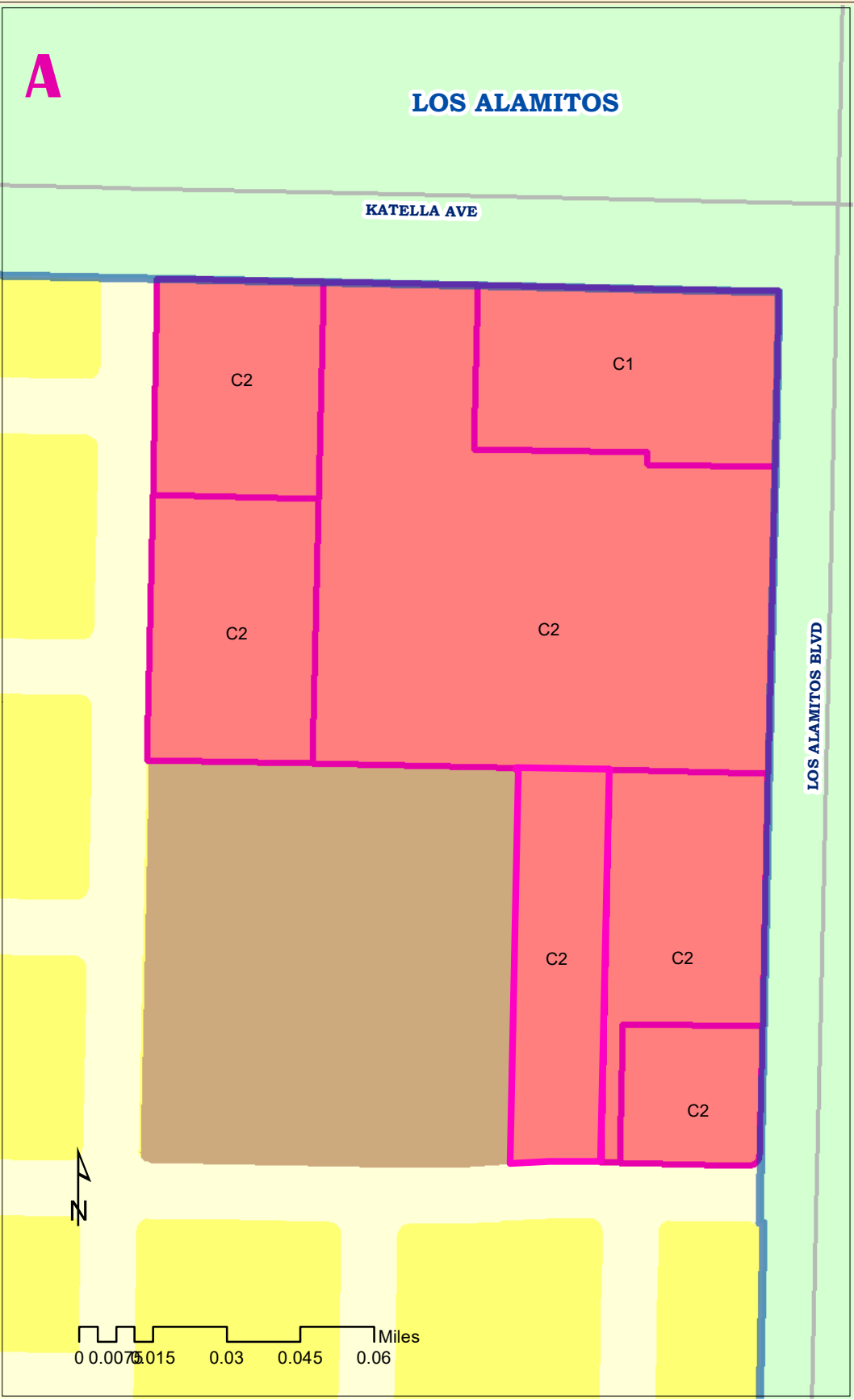
COUNTY OF ORANGE CALIFORNIA Exhibit A, Map #1



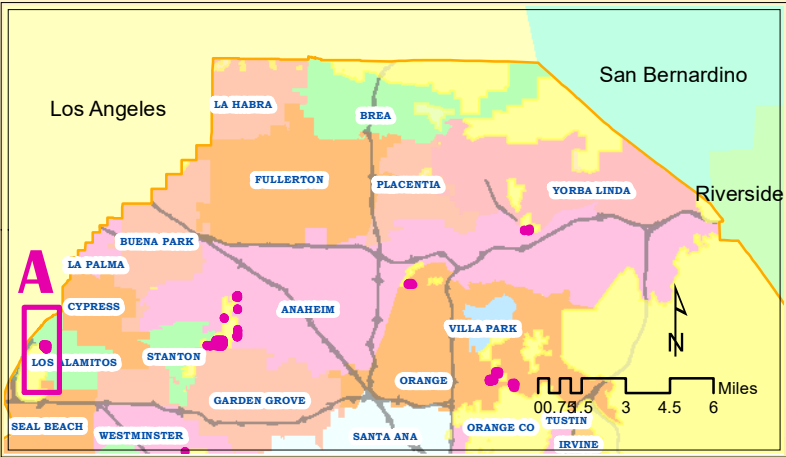
Attachment C



Detail Area - A

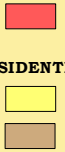


Current Zoning



MAIN ZONING DISTRICTS (CURRENT)

- COMMERCIAL
- RESIDENTIAL

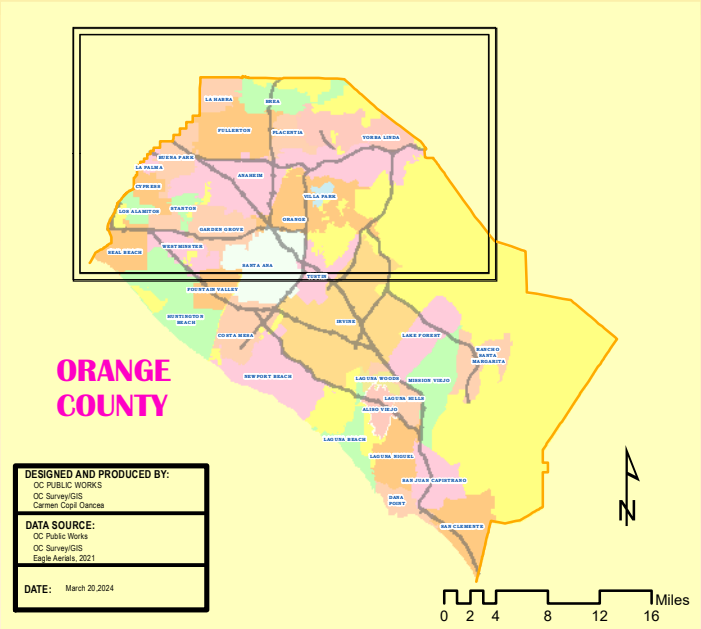
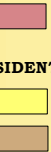


- PROPOSED ZONE CHANGE
- UNINCORPORATED



MAIN ZONING DISTRICTS (PROPOSED)

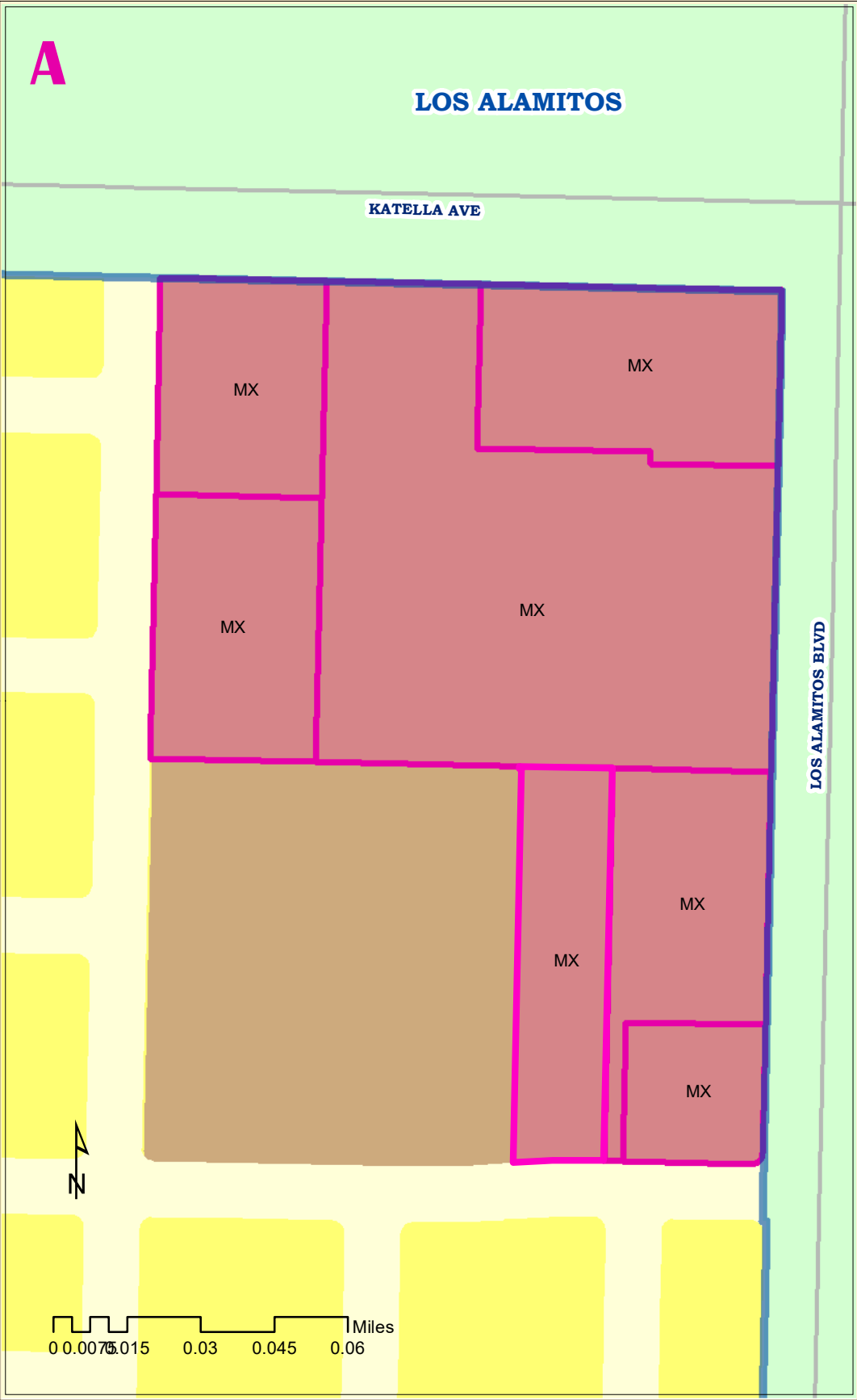
- MIXED USE
- RESIDENTIAL



DESIGNED AND PRODUCED BY:
OC PUBLIC WORKS
OC Survey/GIS
Carmen Capel Delaney

DATA SOURCE:
OC Public Works
OC Survey/GIS
Esri Aerials, 2021

DATE: March 20, 2024

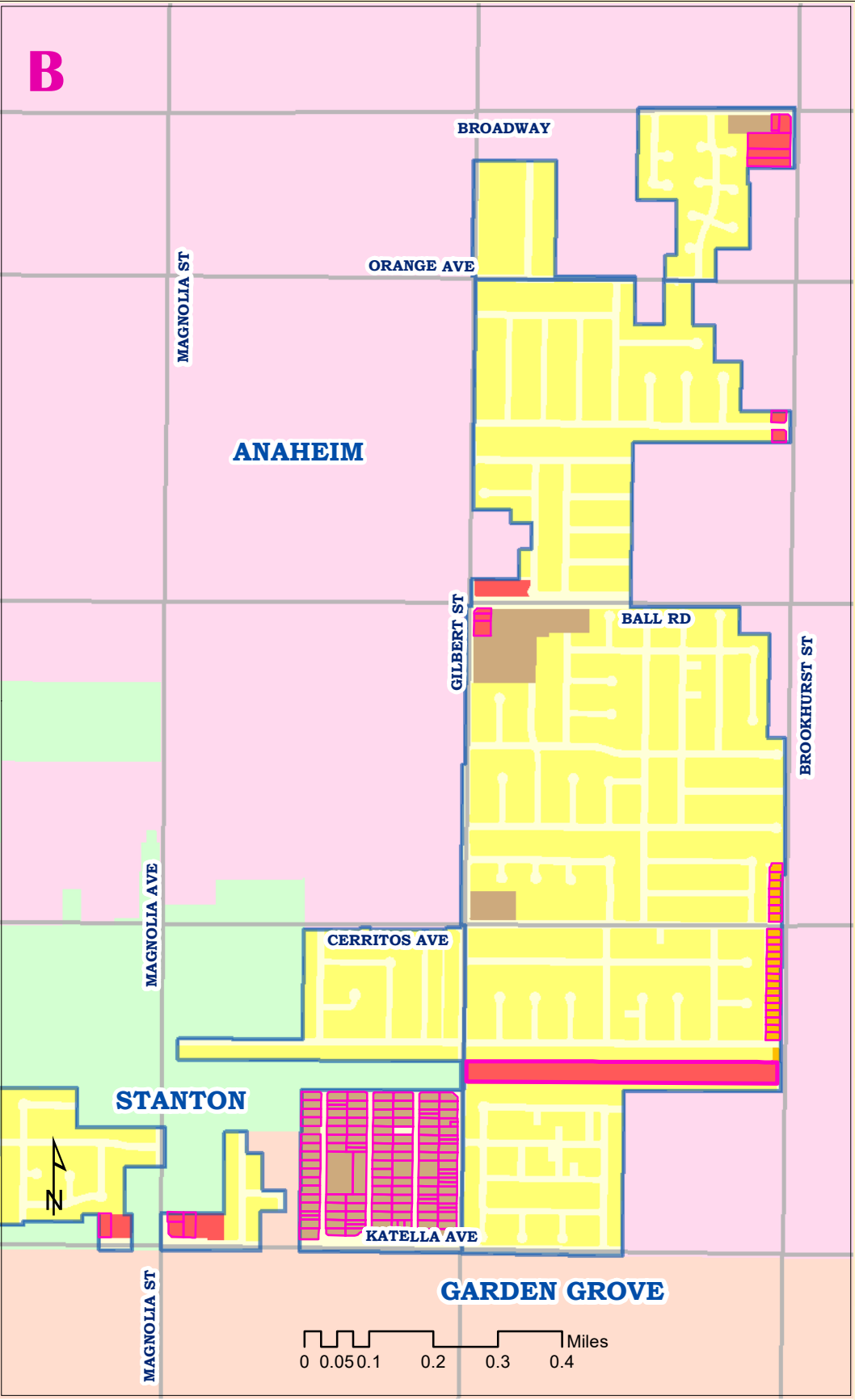


Proposed Zoning

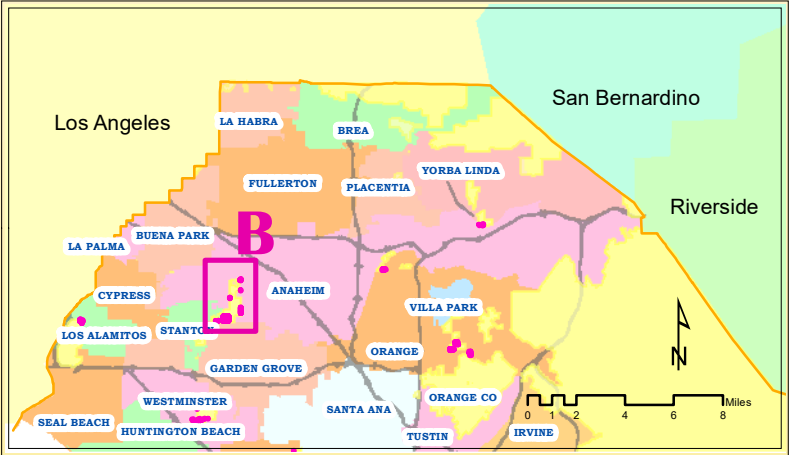
PROPOSED ZONE CHANGE

ZC 24-01
Detail Area - B

COUNTY OF ORANGE CALIFORNIA



Current Zoning



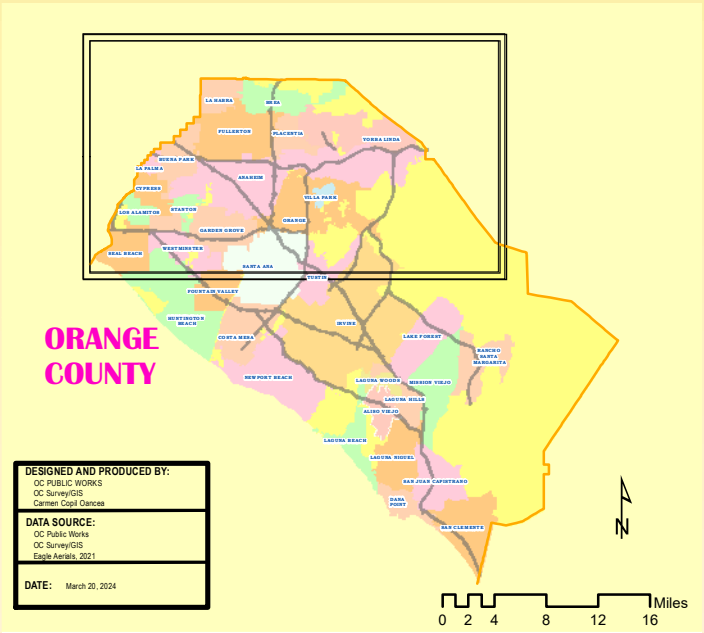
MAIN ZONING DISTRICTS (CURRENT)

- COMMERCIAL
- EMPLOYMENT
- RESIDENTIAL

- PROPOSED ZONE CHANGE
- UNINCORPORATED

MAIN ZONING DISTRICTS (PROPOSED)

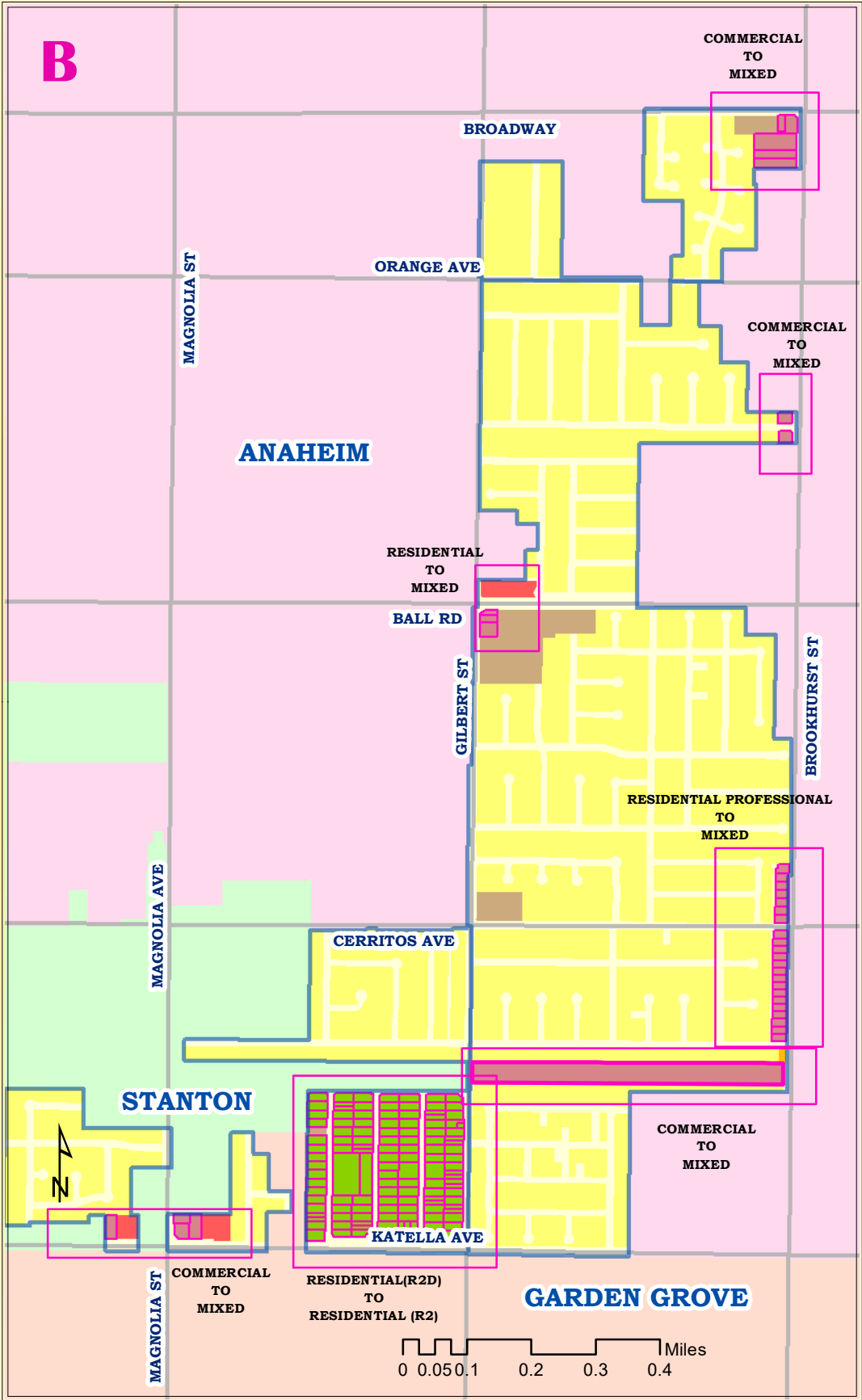
- COMMERCIAL
- MIXED USE
- RESIDENTIAL



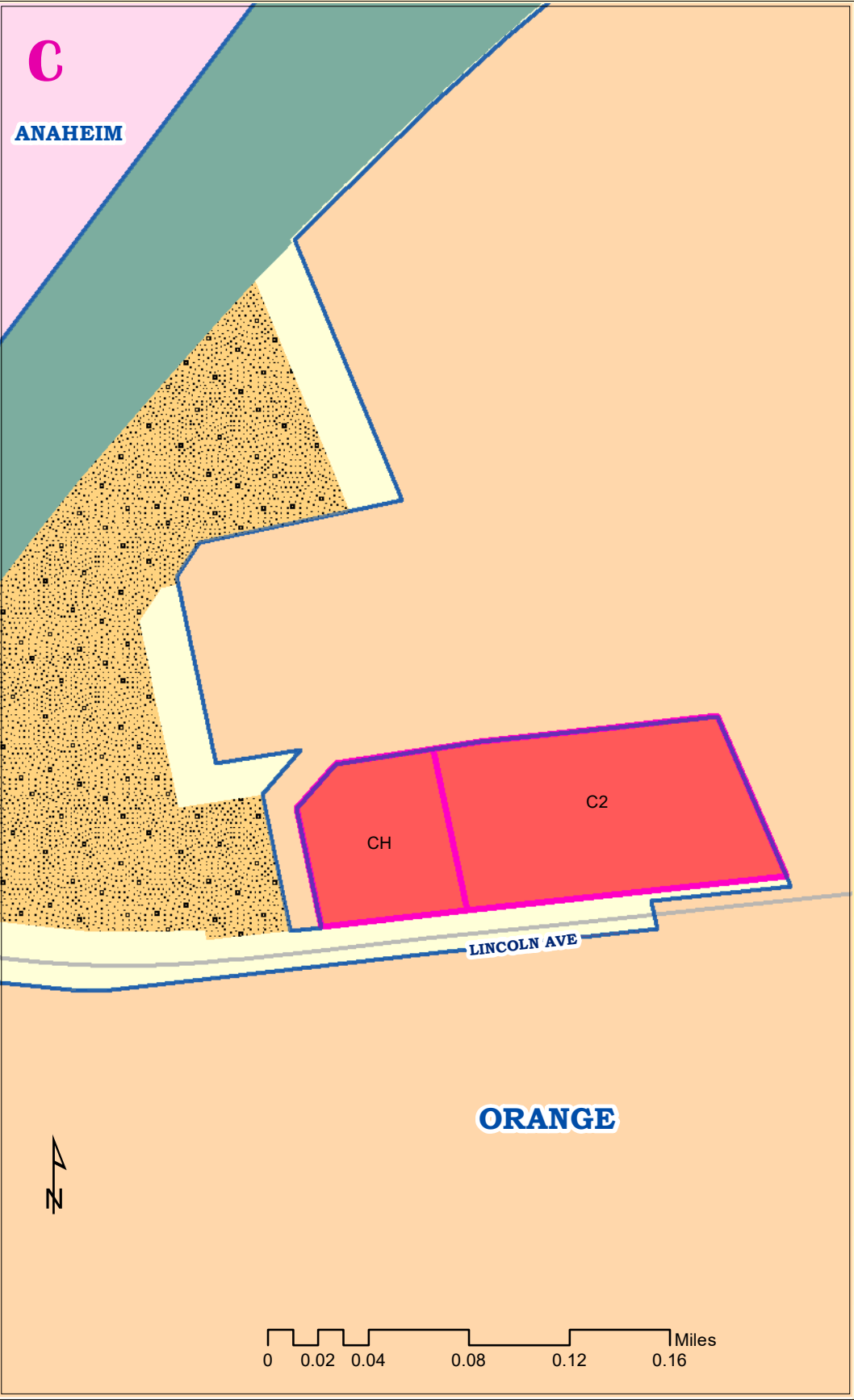
DESIGNED AND PRODUCED BY:
OC PUBLIC WORKS
OC Survey/GIS
Carmen Capri Olivas

DATA SOURCE:
OC Public Works
OC Survey/GIS
Esri Aerials, 2021

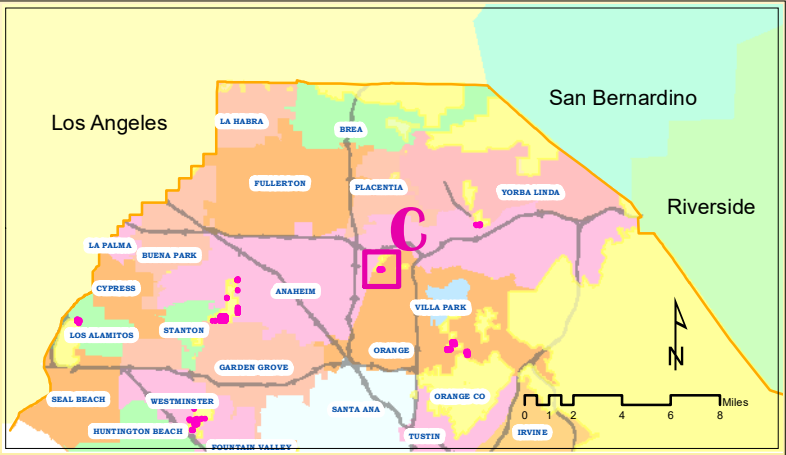
DATE: March 20, 2024



Proposed Zoning



Current Zoning

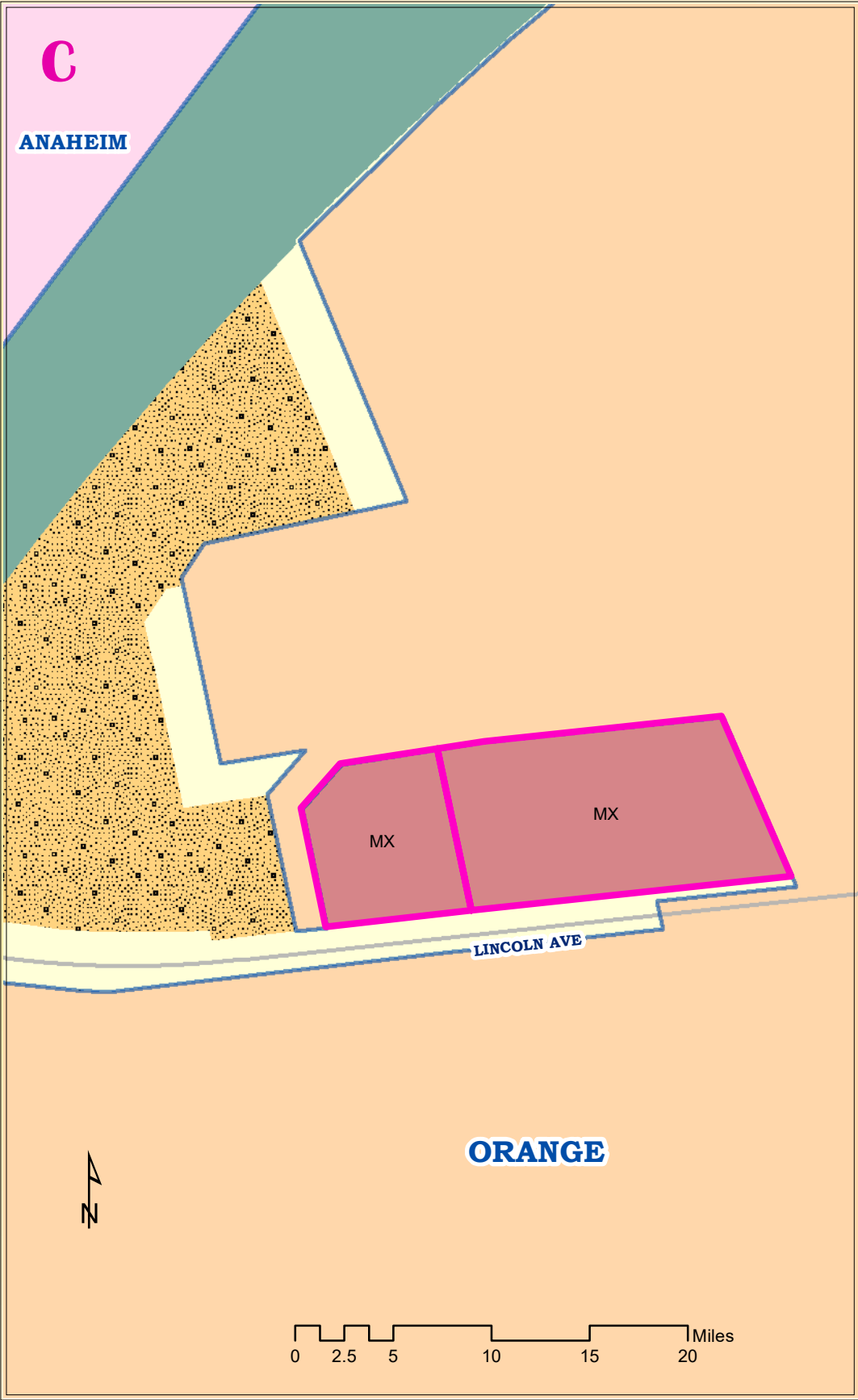
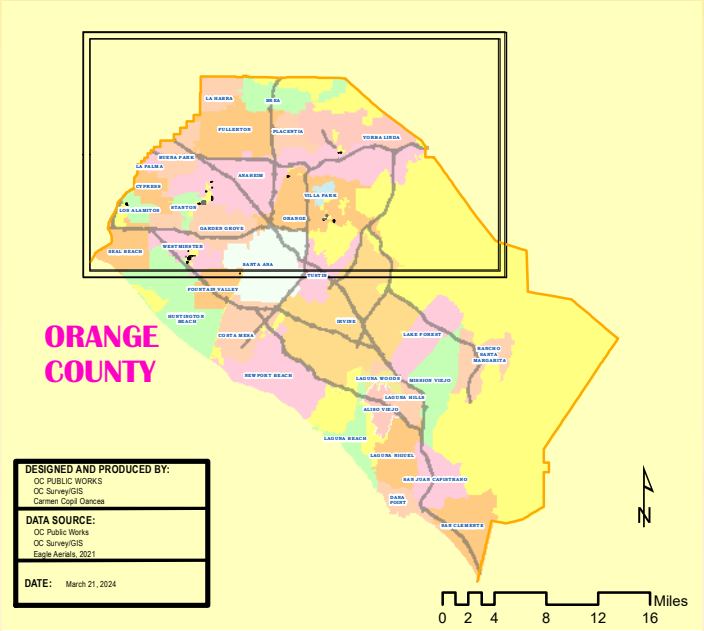


MAIN ZONING DISTRICTS (CURRENT)

- AGRICULTURE (teal square)
- COMMERCIAL (red square)
- SAND & GRAVEL EXTRACTION (dotted brown square)

MAIN ZONING DISTRICTS (PROPOSED)

- PROPOSED ZONE CHANGE (pink square)
- UNINCORPORATED (blue outline square)
- AGRICULTURE (teal square)
- MIXED USE (purple square)
- SAND & GRAVEL EXTRACTION (dotted brown square)



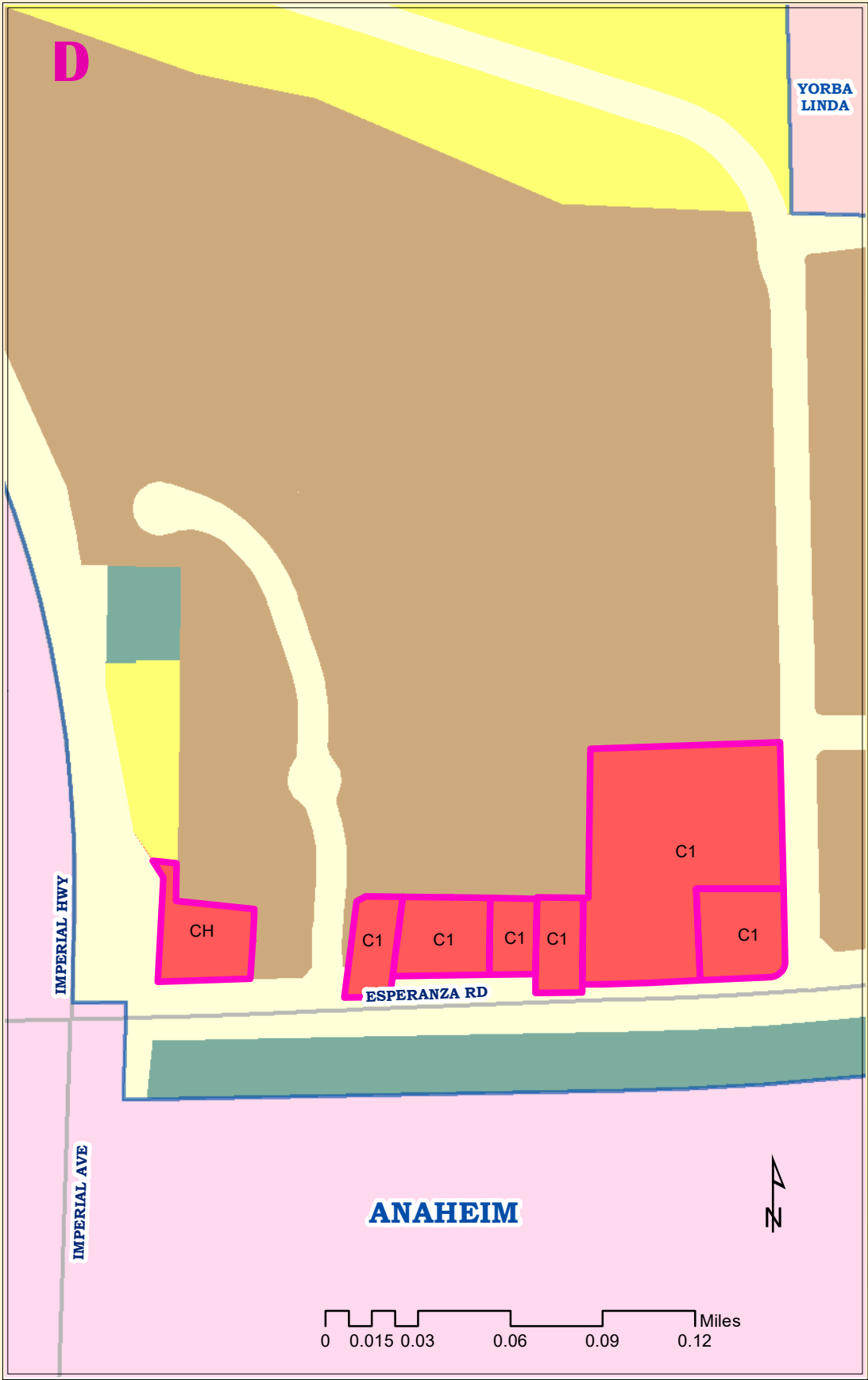
Proposed Zoning

PROPOSED ZONE CHANGE

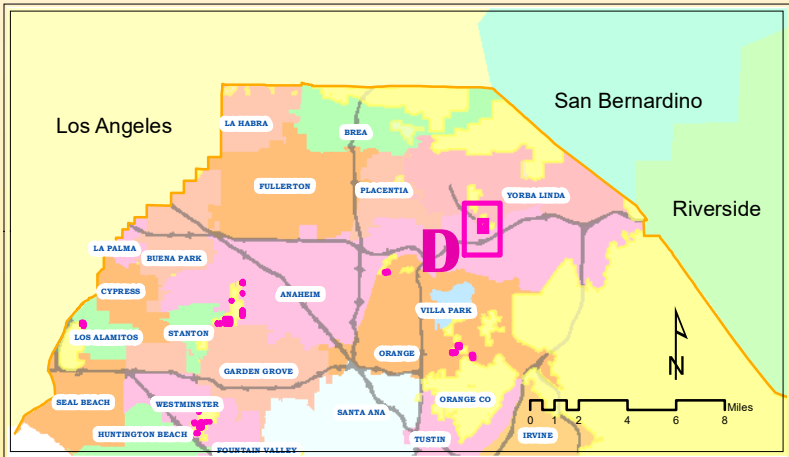
ZC 24-01

COUNTY OF ORANGE CALIFORNIA

Detail Area - D



Current Zoning



MAIN ZONING DISTRICTS (CURRENT)

AGRICULTURE



COMMERCIAL



RESIDENTIAL



MAIN ZONING DISTRICTS (PROPOSED)

AGRICULTURE



MIXED USE

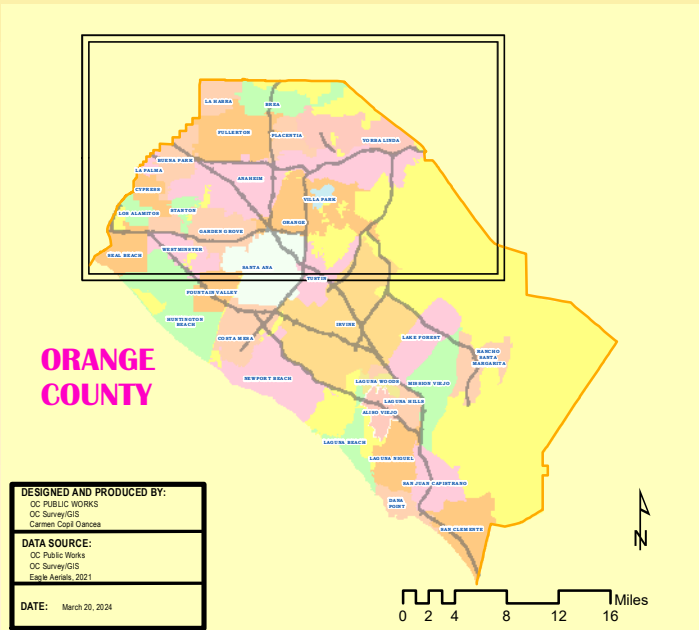


RESIDENTIAL



PROPOSED ZONE CHANGE

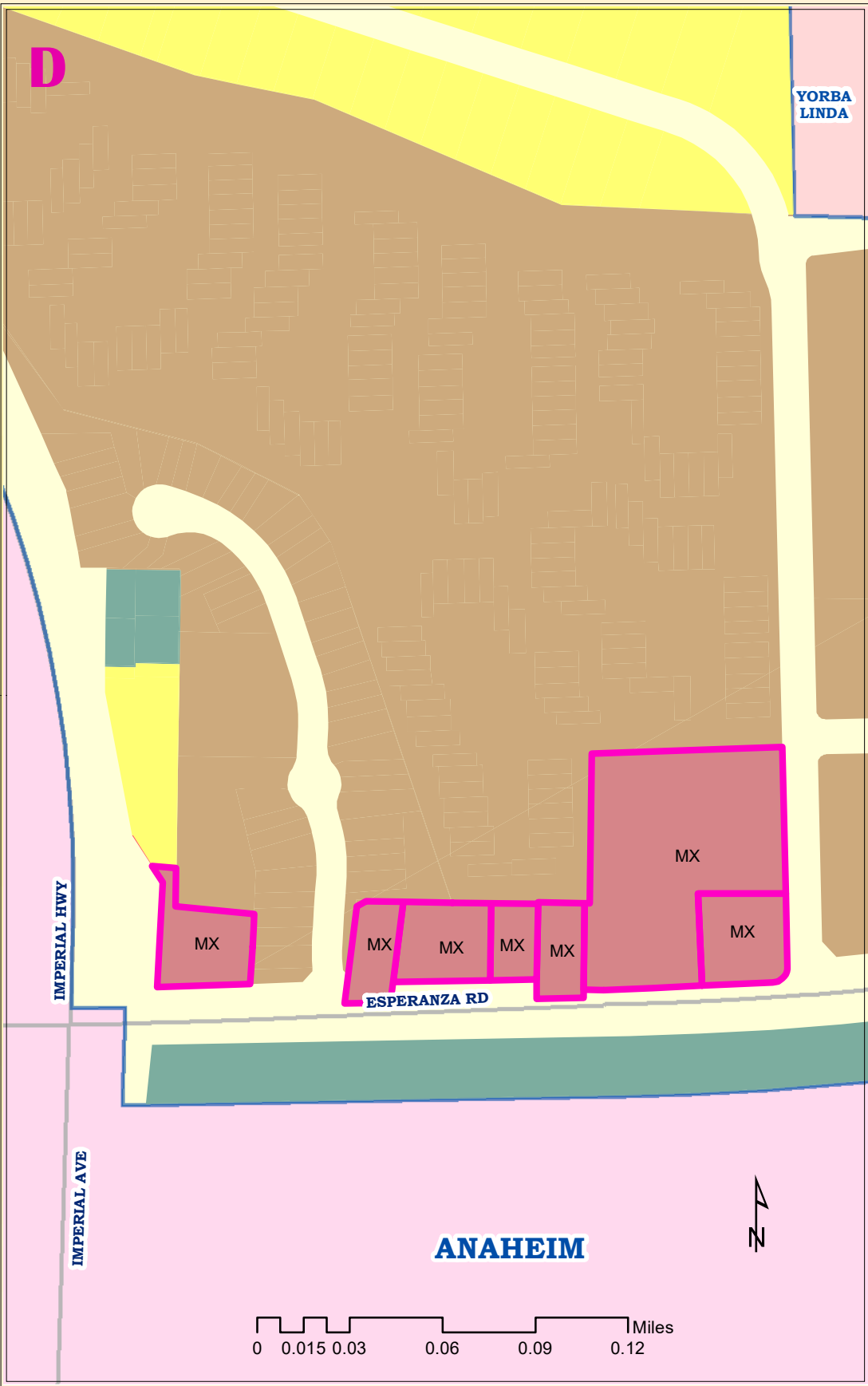
UNINCORPORATED



DESIGNED AND PRODUCED BY:
OC PUBLIC WORKS
OC Survey/GIS
Carmen Coppi Quince

DATA SOURCE:
OC Public Works
OC Survey/GIS
Esri Aerials, 2021

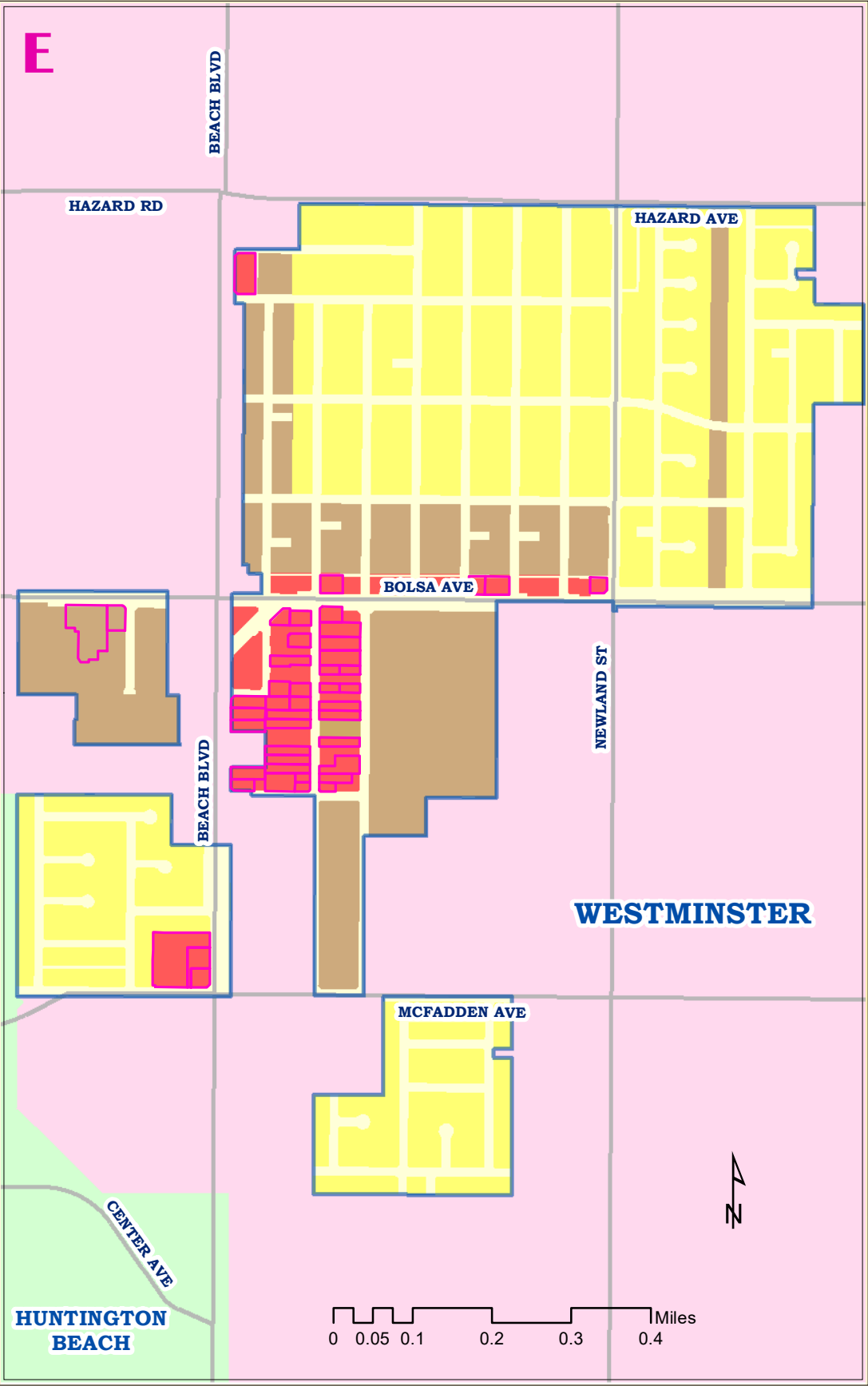
DATE: March 20, 2024



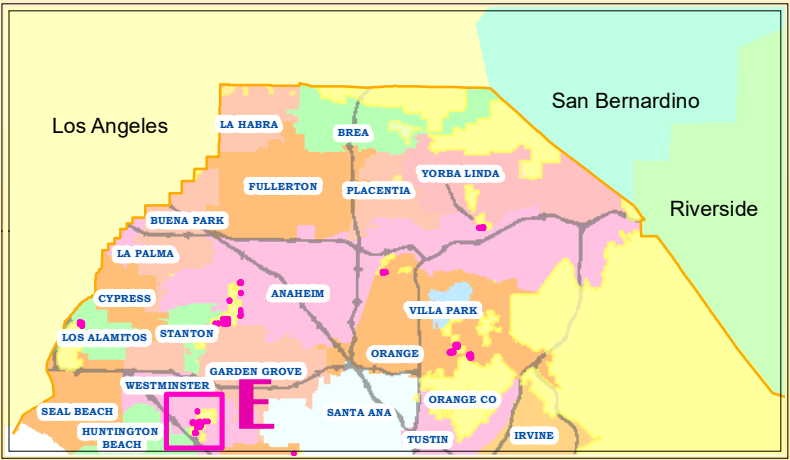
Proposed Zoning

PROPOSED ZONE CHANGE

ZC 24-01 Detail Area - E



Current Zoning



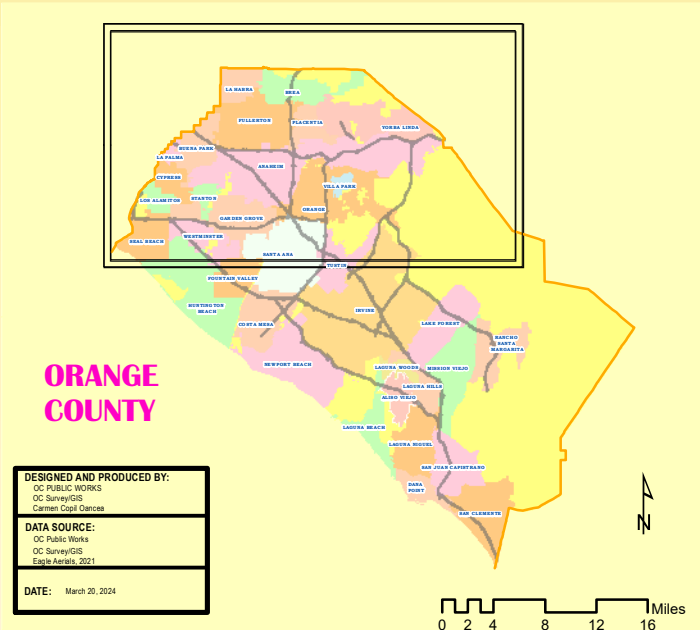
MAIN ZONING DISTRICTS (CURRENT)

- COMMERCIAL
- RESIDENTIAL

- PROPOSED ZONE CHANGE
- UNINCORPORATED

MAIN ZONING DISTRICTS (PROPOSED)

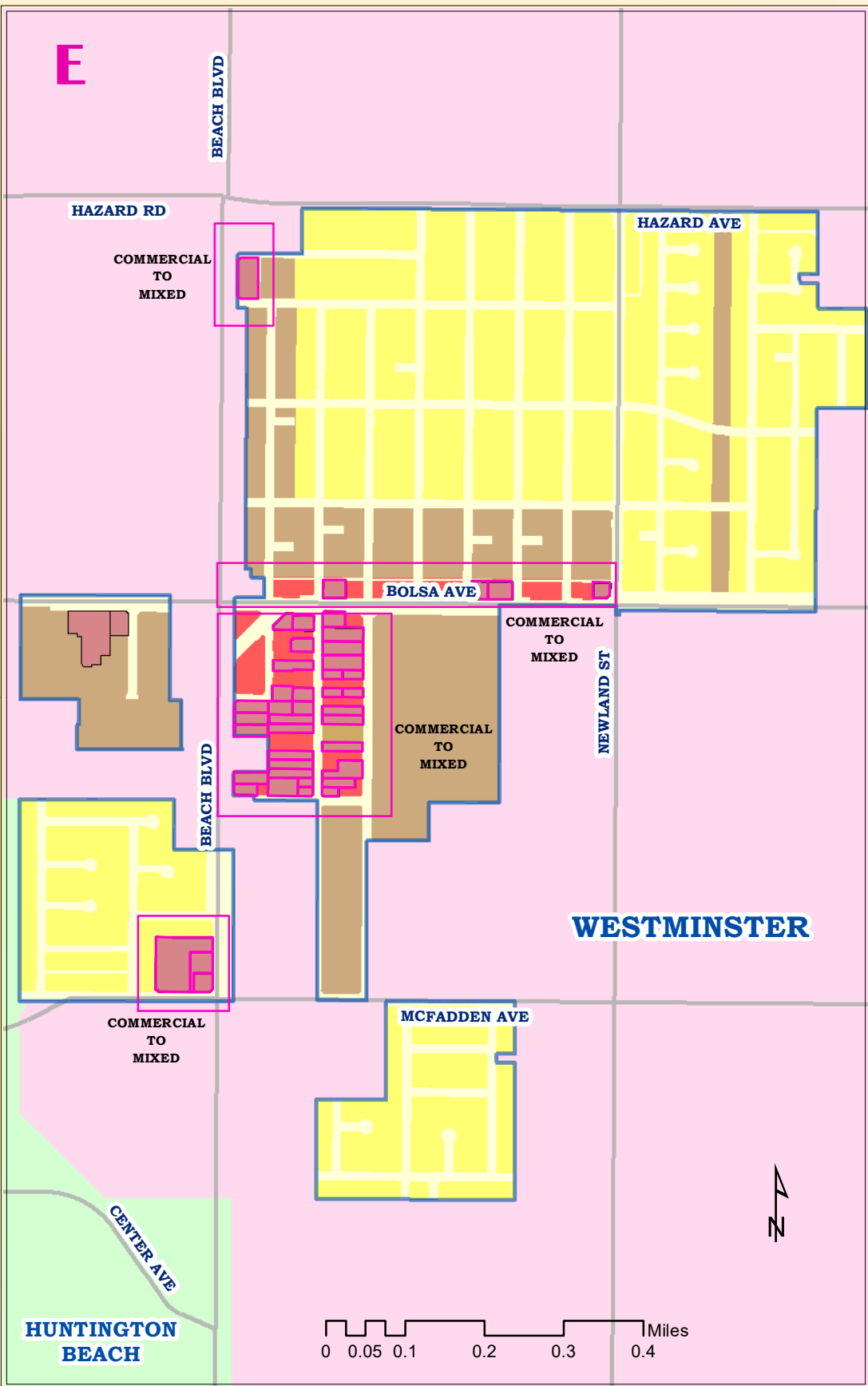
- COMMERCIAL
- MIXED USE
- RESIDENTIAL



DESIGNED AND PRODUCED BY:
OC PUBLIC WORKS
OC SurveyGIS
Carmen Coppi-Gonzalez

DATA SOURCE:
OC Public Works
OC SurveyGIS
Esri/Aerials, 2021

DATE: March 20, 2024

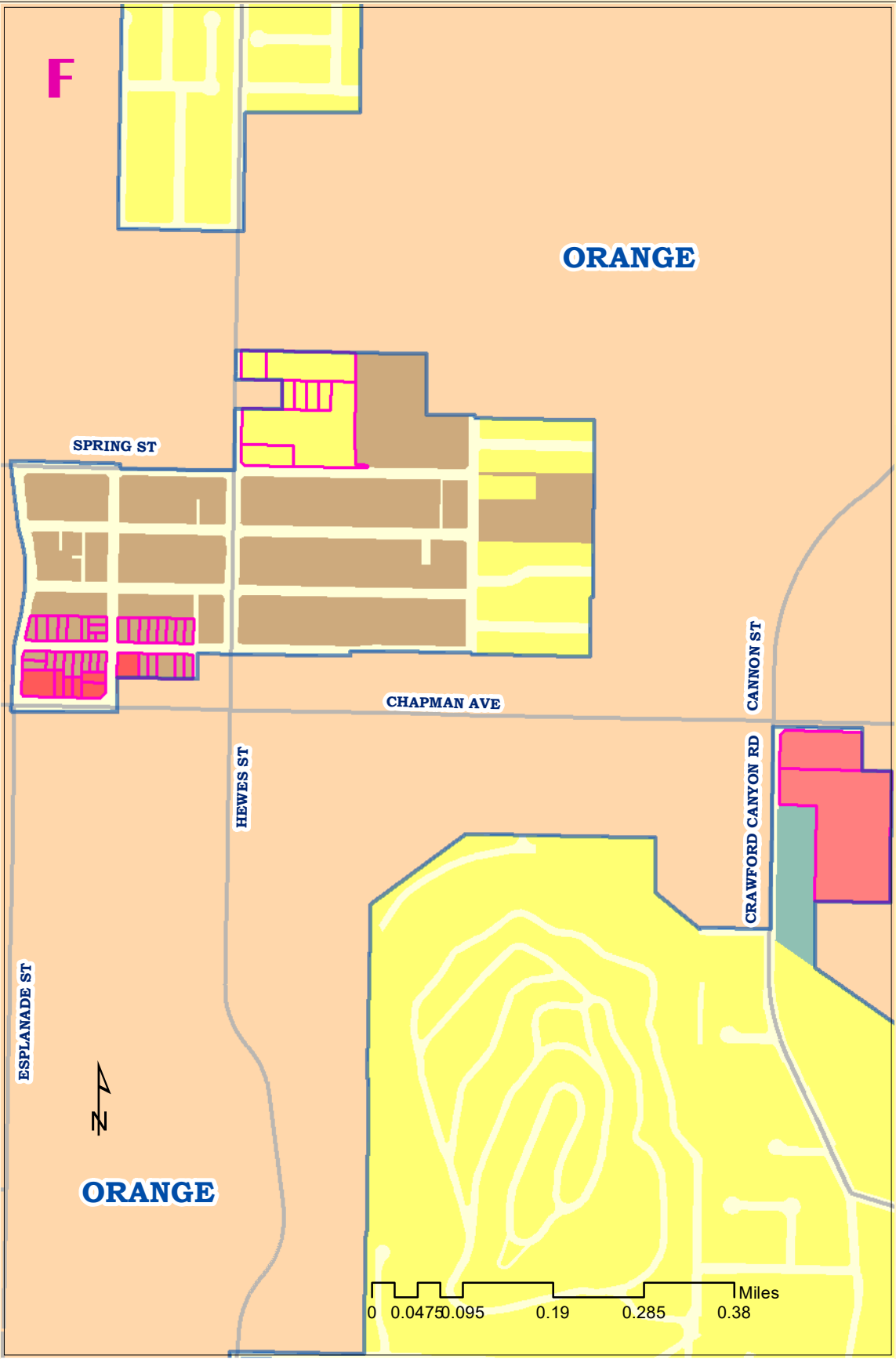


Proposed Zoning

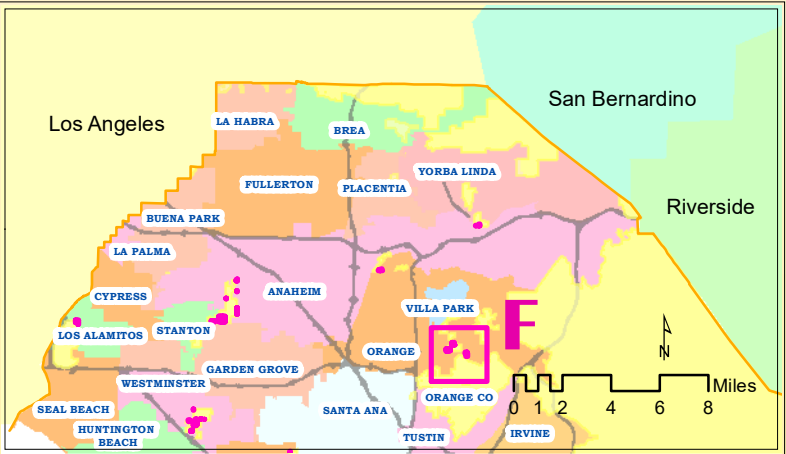
PROPOSED ZONE CHANGE

ZC 24-01
Detail Area - F

COUNTY OF ORANGE CALIFORNIA



Current Zoning



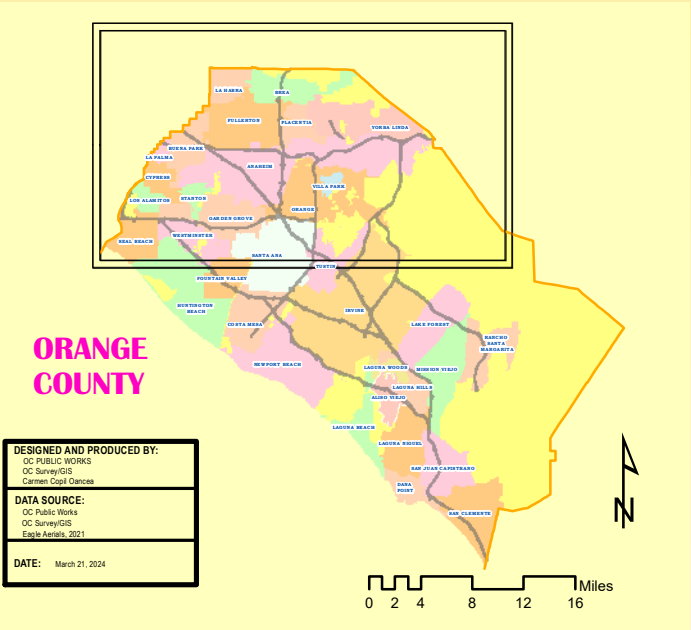
MAIN ZONING DISTRICTS (CURRENT)

- AGRICULTURE
- COMMERCIAL
- RESIDENTIAL

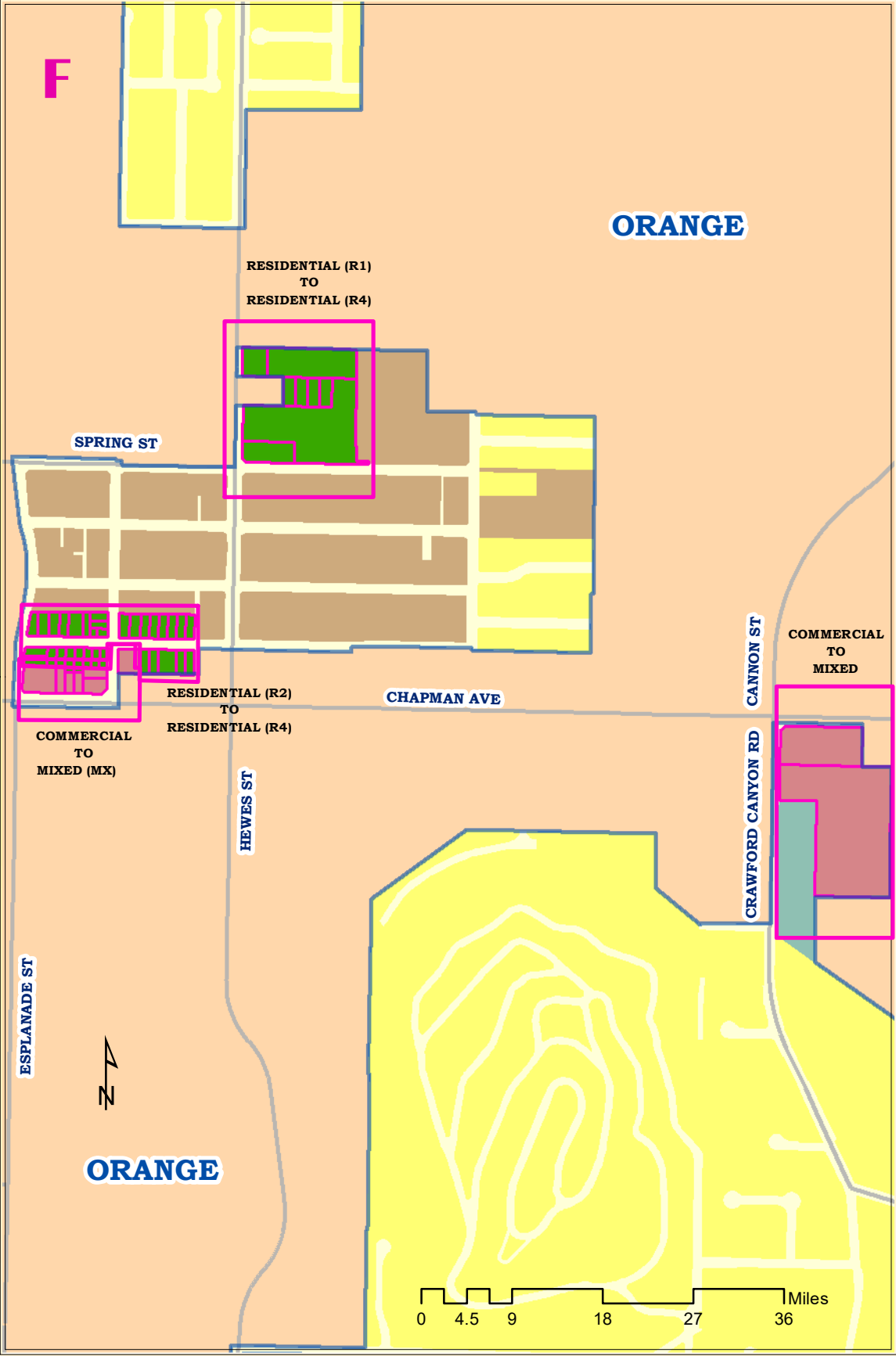
MAIN ZONING DISTRICTS (PROPOSED)

- AGRICULTURE
- MIXED USE
- RESIDENTIAL

- PROPOSED ZONE CHANGE
- UNINCORPORATED



DESIGNED AND PRODUCED BY:
OC PUBLIC WORKS
OC Survey/GIS
Carmen Copli-Dance
DATA SOURCE:
OC Public Works
OC Survey/GIS
Esri-Aerials, 2021
DATE: March 21, 2024



Proposed Zoning

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-621-10	9001 KATELLA AVE, ANAHEIM CA 92804	C1	H	MX	No Change	
349-071-25	19741 ESPERANZA RD, YORBA LINDA CA 92886	C1	H	MX	No Change	
126-503-27	8885 KATELLA AVE, ANAHEIM CA 92804	C1	H	MX	No Change	
127-621-09	10962 MAGNOLIA AVE, ANAHEIM CA 92804	C1	H	MX	No Change	
127-241-35	791 W STONYBROOK DR, ANAHEIM CA 92804	C1	H	MX	No Change	
144-251-08	16292 S HARBOR BLVD, SANTA ANA CA 92704	C1	H	MX	No Change	
349-071-27		C1	H	MX	No Change	
093-114-01	11924 EARLHAM ST ORANGE 92869	C1	H	MX	No Change	
127-621-08	9041 KATELLA AVE ANAHEIM 92804	C1	H	MX	No Change	
127-341-61	9512 BALL RD ANAHEIM 92804	C1	H	MX	No Change	
127-092-44	9942 BROADWAY ANAHEIM 92804	C1	H	MX	No Change	
127-092-21	9225 S BROOKHURST ANAHEIM 92804	C1	H	MX	No Change	
142-062-18	15441 BEACH BLVD MIDWAY CITY 92655	C1	H	MX	No Change	
349-071-18	19851 ESPERANZA RD YORBA LINDA 92886	C1	H	MX	No Change	
127-092-24	331 S BROOKHURST ST ANAHEIM 92804	C1	H	MX	No Change	
127-242-18	801 S BROOKHURST ST ANAHEIM 92804	C1	H	MX	No Change	
127-092-32	305 S BROOKHURST ST ANAHEIM 92804	C1	H	MX	No Change	
127-092-25	9291 S BROOKHURST ANAHEIM 92804	C1	H	MX	No Change	
127-341-60	10042 GILBERT ST ANAHEIM 92804	C1	H	MX	No Change	
127-341-59	10012 GILBERT ST ANAHEIM 92804	C1	H	MX	No Change	
142-062-15	15451 BEACH BLVD WESTMINSTER 92683	C1	H	MX	No Change	
142-062-17	15401 BEACH BLVD WESTMINSTER 92683	C1	H	MX	No Change	
086-521-46	11031 Los Alamitos Blvd, Los Alamitos, CA 90720	C1	SS(H)	MX	No Change	
126-503-27	8885 Katella Ave, Anaheim, CA 92804	C1	H	MX	No Change	
127-621-10	9001 Katella Ave, Anaheim, CA 92804	C1	H	MX	No Change	
127-092-32	305 S Brookhurst St Anaheim, Anaheim, CA 92804	C1	H	MX	No Change	
127-092-24	331 S Brookhurst St Anaheim, Anaheim, CA 92804	C1	H	MX	No Change	
127-092-21	9225 S BROOKHURST, Anaheim, CA 92804	C1	H	MX	No Change	
127-092-44	9942 Broadway, Anaheim, CA 92804	C1	H	MX	No Change	
127-092-25	9291 S Brookhurst St Anaheim, Anaheim, CA 92804	C1	H	MX	No Change	
127-242-18	801 S Brookhurst St Anaheim, Anaheim, CA 92804	C1	H	MX	No Change	
127-241-35	791 W Stonybrook Dr, Anaheim, CA 92804	C1	H	MX	No Change	
127-341-59	10012 Gilbert, Anaheim, CA 92804	C1	H	MX	No Change	
142-062-18	15441 Beach Blvd, Midway City, CA 92655	C1	H	MX	No Change	
142-062-15	15451 Beach Blvd, Midway City, CA 92655	C1	H	MX	No Change	
142-062-17	15401 Beach Blvd, Midway City, CA 92655	C1	H	MX	No Change	
144-251-08	16292 Harbor Blvd, Santa Ana, CA 92704	C1	FP-2	MX	No Change	
349-071-17	6821 Fairlynn Blvd,Yorba Linda, CA 92886	C1	(SR)(H)	MX	No Change	
349-071-18	19851 Esperanza Rd, Yorba Linda, CA 92886	C1	(SR)(H)	MX	No Change	
349-693-37	Address Not Available	C1	(SR)(H)	MX	No Change	
349-071-25	19741 Esperanza Rd, Yorba Linda, CA 92886	C1	(SR)(H)	MX	No Change	
093-114-01	11924 Earlham St	C1	(SR)(H)	MX	No Change	
127-621-08	9041 KATELLA AVE, Anaheim, CA 92804	C1	H	MX	No Change	
127-621-09	10962 MAGNOLIA AVE, Anaheim, CA 92804	C1	H	MX	No Change	
086-521-19	3352 KATELLA AVE, LOS ALAMITOS CA 90720	C2	H	MX	No Change	
093-113-10	11941 EARLHAM ST, ORANGE CA 92869	C2	H	MX	No Change	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
093-113-25	18561 E CHAPMAN AVE, ORANGE CA 92869	C2	H	MX	No Change	
093-113-15	18541 E CHAPMAN AVE, ORANGE CA 92869	C2	H	MX	No Change	
093-113-21	18511 E CHAPMAN AVE, ORANGE CA 92869	C2	H	MX	No Change	
107-151-30	15212 BEACH BLVD, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-180-10	15142 JACKSON ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-151-67	MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-09	15132 JACKSON ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-151-47	15132 ADAMS ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
097-133-21	8121 BOLSA AVE, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-151-20	15201 JACKSON ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-151-19	15191 JACKSON ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-180-31	15201 VAN BUREN ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
086-521-46	11031 LOS ALAMITOS BLVD, LOS ALAMITOS CA 90720	C2	H	MX	No Change	
093-113-27	18571 E CHAPMAN AVE, ORANGE CA 92869	C2	H	MX	No Change	
093-113-23	18551 E CHAPMAN AVE, ORANGE CA 92869	C2	H	MX	No Change	
360-031-23	15777 E LINCOLN AVE, ORANGE CA 92865	C2	H	MX	No Change	
107-151-51	15114 ADAMS ST, MIDWAY CITY CA 92655	C2	H	MX	No Change	
107-180-25	15062 JACKSON ST, MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-26	15052 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-54	15041 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-03	15032 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-02	15021 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
097-144-19	8451 BOLSA AVE MIDWAY CITY 92655	C2	H	MX	No Change	
097-142-22	8301 BOLSA AVE MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-17	15232 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
086-521-11	11088 WALLINGSFORD RD LOS ALAMITOS 90720	C2	H	MX	No Change	
107-151-32	15142 BEACH BLVD MIDWAY CITY 92655	C2	H	MX	No Change	
086-521-24	11171 LOS ALAMITOS BLVD LOS ALAMITOS 90720	C2	H	MX	No Change	
107-180-30	15111 VAN BUREN ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-15	15222 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-24	8122 BOLSA AVE MIDWAY CITY 92655	C2	H	MX	No Change	
097-103-31	14582 BEACH BLVD MIDWAY CITY 92655	C2	H	MX	No Change	
086-521-47	11061 LOS ALAMITOS BLVD LOS ALAMITOS 90720	C2	H	MX	No Change	
086-521-23	11131 LOS ALAMITOS BLVD LOS ALAMITOS 90720	C2	H	MX	No Change	
107-151-31	15122 BEACH BLVD MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-21	15211 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-56	15012 MIDWAY PL MIDWAY CITY 92655	C2	H	MX	No Change	
097-142-23	8331 BOLSA AVE MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-33	15081 VAN BUREN ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-34	15082 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-36	15081 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-60	15072 ADAMS ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-15	15161 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-45	15135 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-33	15132 BEACH BLVD MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-48	15131 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
107-151-38	15111 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
107-151-59	15232 BEACH BLVD MIDWAY CITY 92655	C2	H	MX	No Change	
107-180-29	15112 JACKSON ST MIDWAY CITY 92655	C2	H	MX	No Change	
086-521-47	11061 Los Alamitos Blvd, Los Alamitos, CA 90720	C2	H	MX	No Change	
086-521-19	3352 Katella Ave, Los Alamitos, CA 90720	C2	H	MX	No Change	
086-521-23	11131 Los Alamitos Blvd, Los Alamitos, CA 90720	C2	(SS)(H)	MX	No Change	
086-521-11	11088 Wallingsford Rd, Los Alamitos, CA 90720	C2	(SS)(H)	MX	No Change	
086-521-24	11171 Los Alamitos Blvd, Los Alamitos, CA 90720	C2	(SS)(H)	MX	No Change	
127-341-60	10042 Gilbert, Anaheim, CA 92804	C2	H	MX	No Change	
107-180-25	15062 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-03	15032 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-26	15052 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
097-133-21	8121 Bolsa Ave, Midway City, CA 92655	C2	H	MX	No Change	
107-151-60	15072 Adams St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-24	8122 Bolsa Ave, Midway City, CA 92655	C2	H	MX	No Change	
107-151-02	15021 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-54	15041 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-56	15012 Midway Pl, Midway City, CA 92655	C2	H	MX	No Change	
107-151-36, 107-151-61, 107-151-60	15081 Jackson Ave, 15072 Adams, 15082 Adams,, Midway City, CA 92655	C2	H	MX	No Change	
107-180-15	15222 Jackson St, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-17	15232 Jackson St, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-29	15112 Jackson St, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-30	15111 Van Buren, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-33	15081 Van Buren, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-34	15082 Jackson St, , Midway City, CA 92655	C2	H	MX	No Change	
107-180-31	15201 Van Buren St, , Midway City, CA 92655	C2	H	MX	No Change	
107-151-33	15132 Beach Blvd, Midway City, CA 92655	C2	H	MX	No Change	
107-151-30	15212 Beach Blvd, Midway City, CA 92655	C2	H	MX	No Change	
107-151-32	15142 Beach Blvd, Midway City, CA 92655	C2	H	MX	No Change	
107-151-20	15201 Jackson St,, Midway City, CA 92655	C2	H	MX	No Change	
107-151-19	15191 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-15	15161 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-21	15211 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-31	15122 Beach Blvd, Midway City, CA 92655	C2	H	MX	No Change	
107-151-45	15135 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-23	15182 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-10	15142 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-180-09	15132 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-47	15132 Adams St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-51	15114 Adams St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-48	15131 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-38	15111 Jackson St, Midway City, CA 92655	C2	H	MX	No Change	
107-151-59	15232 Beach Blvd, Midway City, CA 92655	C2	H	MX	No Change	
107-151-67	Address Not Available, , Midway City, CA 92655	C2	H	MX	No Change	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
097-142-23	8331 Bolsa Ave, Midway City, CA 92655	C2	H	MX	No Change	
097-142-22	8301 Bolsa Ave, Midway City, CA 92655	C2	H	MX	No Change	
097-144-19	8451 Bolsa Ave, Midway City, CA 92655	C2	H	MX	No Change	
360-031-23	15777 W Lincoln Ave, Orange, CA 92865	C2	H	MX	No Change	
093-113-21	18511 Chapman Ave Orange	C2	(SR)(H)	MX	No Change	
093-113-27	18571 E Chapman Ave Orange	C2	(SR)(H)	MX	No Change	
093-113-15	18541 E Chapman Ave	C2	(SR)(H)	MX	No Change	
093-113-23	18551 E Chapman Ave	C2	(SR)(H)	MX	No Change	
093-113-25	18561 E Chapman Ave	C2	(SR)(H)	MX	No Change	
093-113-10	11941 S Earlham	C2	(SR)(H)	MX	No Change	
127-341-61	9512 W. Ball, Anaheim, CA 92804	C1	H	MX	No Change	
097-103-31	14582 Beach Blvd, Anaheim, CA 92804	C2	H	MX	No Change	
393-390-12	10000 CRAWFORD CANYON RD SANTA ANA 92705	CC	H	MX	No Change	
393-390-12	10000 Crawford Canyon Rd	CC	(SR)(H)	MX	No Change	
393-390-13	Address Not Available	CC	(SR)(C2848)	MX	No Change	
349-693-37		CH	H	MX	No Change	
360-011-11	15635 E LINCOLN AVE ORANGE 92865	CH	H	MX	No Change	
360-011-11	15635 W Lincoln Ave, Orange, CA 92865	CH	(FP-2)(H)	MX	No Change	
383-061-08	18801 E SPRING ST, Orange, CA 92869	R1	N/A	R4	H	
383-061-09	18801 E SPRING ST, Orange, CA 92869	R1	N/A	R4	H	
383-061-06	18792 DREW WAY, Orange, CA 92869	R1	N/A	R4	H	
383-061-05	18802 E DREW WAY, Orange, CA 92869	R1	N/A	R4	H	
383-061-04	18812 E DREW WAY, Orange, CA 92869	R1	N/A	R4	H	
383-061-03	18822 E DREW WAY, Orange, CA 92869	R1	N/A	R4	H	
383-061-02	No address	R1	N/A	R4	H	
383-061-01	11578 Hewes St, Orange, CA 92869	R1	N/A	R4	H	
379-294-34	11762 S RANCHO SANTIAGO BLVD ORANGE 92869	R2	H	No Change	No Change	Revised development standards
107-191-07	NULL CA 92655	R2	H	No Change	No Change	Revised development standards
939-89-001	8322 BOLSA AVE #1 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-016	8322 BOLSA AVE #16 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-003	8322 BOLSA AVE #3 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-021	8322 BOLSA AVE #21 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-022	8322 BOLSA AVE #22 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-012	8322 BOLSA AVE #12 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-014	8322 BOLSA AVE #14 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-017	8322 BOLSA AVE #17 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-018	8322 BOLSA AVE #18 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-008	8322 BOLSA AVE #8 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-015	8322 BOLSA AVE #15 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-020	8322 BOLSA AVE #20 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-023	8322 BOLSA AVE #23 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-005	8322 BOLSA AVE #5 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-007	8322 BOLSA AVE #7 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-004	8322 BOLSA AVE #4 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-011	8322 BOLSA AVE #11 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-002	8322 BOLSA AVE #2 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
939-89-006	8322 BOLSA AVE #6 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-009	8322 BOLSA AVE #9 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-010	8322 BOLSA AVE #10 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-013	8322 BOLSA AVE #13 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
939-89-019	8322 BOLSA AVE #19 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-81	8200 BOLSA AVE #181 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
107-191-02	8200 BOLSA AVE MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-26	5200 IRVINE BLVD #26 IRVINE 92620	R2	H	No Change	No Change	Revised development standards
890-750-08	8200 BOLSA AVE #8 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-28	8200 BOLSA AVE #28 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-60	8200 BOLSA AVE #160 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-35		R2	H	No Change	No Change	Revised development standards
890-751-77	8200 BOLSA AVE #177 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-28	8200 BOLSA AVE #165 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-64	8200 BOLSA AVE #164 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-05	8200 BOLSA AVE #172 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-12	8200 BOLSA AVE #112 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-29	8200 BOLSA AVE #129 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-85	8200 BOLSA AVE #185 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-31	8200 BOLSA AVE #179 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-76	8200 BOLSA AVE #176 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-80	8200 BOLSA AVE #180 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-81	8200 BOLSA AVE #81 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-15	8200 BOLSA AVE #115 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-51	8200 BOLSA AVE #151 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-52	8200 BOLSA AVE #152 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-97	8200 BOLSA AVE #97 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-11	8200 BOLSA AVE #111 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-62	8200 BOLSA AVE #162 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-63	8200 BOLSA AVE #163 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-66	8200 BOLSA AVE #166 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-71	8200 BOLSA AVE #171 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-22	8200 BOLSA AVE #22 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-24	8200 BOLSA AVE #124 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-70	8200 BOLSA AVE #170 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-82	8200 BOLSA AVE #182 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-83	8200 BOLSA AVE #183 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-51	8200 BOLSA AVE #51 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
107-171-06	NULL CA 92655	R2	H	No Change	No Change	Revised development standards
938-76-029	8284 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-014	8265 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-018	8216 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-019	8222 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-020	8226 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-021	8232 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-026	8288 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
938-76-008	8235 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-009	8241 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-013	8261 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-027	8272 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-002	8205 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-003	8211 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-017	8212 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-024	8286 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-025	8276 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-028	8282 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-004	8215 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-005	8221 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-016	8206 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-022	8236 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-023	8274 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-001	8201 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-006	8225 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-012	8255 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-007	8231 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-010	8245 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-011	8251 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
938-76-015	8202 MAUREEN DR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-031-25	15091 PACIFIC ST MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-031-24	15051 PACIFIC ST MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-031-27	NULL CA 92655	R2	H	No Change	No Change	Revised development standards
936-18-007	7750 BOLSA AVE #7 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-008	7750 BOLSA AVE #8 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-001	7750 BOLSA AVE #1 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-047	7750 BOLSA AVE #47 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-004	7750 BOLSA AVE #4 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-005	7750 BOLSA AVE #5 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-002	7750 BOLSA AVE #2 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-003	7750 BOLSA AVE #3 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-006	7750 BOLSA AVE #6 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-018	7750 BOLSA AVE #18 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-021	7750 BOLSA AVE #21 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-031	7750 BOLSA AVE #31 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-040	7750 BOLSA AVE #40 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-045	7750 BOLSA AVE #45 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-046	7750 BOLSA AVE #46 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-035	7750 BOLSA AVE #35 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-039	7750 BOLSA AVE #39 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-044	7750 BOLSA AVE #44 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-048	7750 BOLSA AVE #48 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-009	7750 BOLSA AVE #9 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-014	7750 BOLSA AVE #14 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
936-18-036	7750 BOLSA AVE #36 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-037	7750 BOLSA AVE #37 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-041	7750 BOLSA AVE #41 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-025	7750 BOLSA AVE #25 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-029	7750 BOLSA AVE #29 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-030	7750 BOLSA AVE #30 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-013	7750 BOLSA AVE #13 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-080	20012 BAYWOOD CT #80 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-082	20026 BAYWOOD CT #82 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-084	20042 BAYWOOD CT #84 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-085	20052 BAYWOOD CT #85 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-059	20042 PINEVILLE CT #59 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-065	20021 LEAFWOOD CT #65 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-067	20012 LEAFWOOD CT #67 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-073	20061 BAYWOOD CT #73 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-078	20021 BAYWOOD CT #78 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-052	20025 PINEVILLE CT #52 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-054	20011 PINEVILLE CT #54 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-056	20022 PINEVILLE CT #56 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-063	20031 LEAFWOOD CT #63 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-068	20022 LEAFWOOD CT #68 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-079	20011 BAYWOOD CT #79 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-031	20002 WRIGHTWOOD CT #31 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-034	19972 WRIGHTWOOD CT #34 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-036	19952 WRIGHTWOOD CT #36 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-048	20052 ROYAL OAK CT #48 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-050	20041 PINEVILLE CT #50 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
142-031-28	7820 BOLSA AVE MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-031-29		R2	H	No Change	No Change	Revised development standards
890-759-37		R2	H	No Change	No Change	Revised development standards
107-191-05	8200 BOLSA AVE MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-91	8200 BOLSA AVE #91 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-87	8200 BOLSA AVE #87 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-33	8200 BOLSA AVE #62 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-78	8200 BOLSA AVE #78 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-25	8200 BOLSA AVE #156 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-74	8200 BOLSA AVE #174 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-57	8200 BOLSA AVE #157 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-53	8200 BOLSA AVE #153 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-42	8200 BOLSA AVE #42 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-66	8200 BOLSA AVE #66 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-07	8200 BOLSA AVE #7 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-11	8200 BOLSA AVE #11 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-34		R2	H	No Change	No Change	Revised development standards
890-750-41		R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
890-759-36		R2	H	No Change	No Change	Revised development standards
890-750-06	8200 BOLSA AVE #6 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-12	8200 BOLSA AVE #12 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-29	8200 BOLSA AVE #121 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-23	8200 BOLSA AVE #80 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-20	8200 BOLSA AVE #96 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-98	8200 BOLSA AVE #98 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-40	8200 BOLSA AVE #140 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-26	8200 BOLSA AVE #138 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-24	8200 BOLSA AVE #137 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-06	8200 BOLSA AVE #106 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-17	8200 BOLSA AVE #117 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-19	8200 BOLSA AVE #150 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-38	8200 BOLSA AVE #38 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-32	8200 BOLSA AVE #67 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-21	8200 BOLSA AVE #93 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-27	8200 BOLSA AVE #14 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-19	8200 BOLSA AVE #19 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-45	8200 BOLSA AVE #45 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-76	8200 BOLSA AVE #76 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-22	8200 BOLSA AVE #84 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-30	8200 BOLSA AVE #74 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-02	8200 BOLSA AVE #20 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-07	8200 BOLSA AVE #105 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-10	8200 BOLSA AVE #130 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-13	8200 BOLSA AVE #61 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-18	8200 BOLSA AVE #55 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-04	8200 BOLSA AVE #4 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-46	8200 BOLSA AVE #146 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-47	8200 BOLSA AVE #147 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-48	8200 BOLSA AVE #148 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-59	8200 BOLSA AVE #159 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-227	19982 WILDWOOD CT #4 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-230	20001 WILDWOOD CT #7 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-232	19981 WILDWOOD CT #9 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-234	19961 WILDWOOD CT #11 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-225	19962 WILDWOOD CT #2 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-235	19951 WILDWOOD CT #12 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-226	19972 WILDWOOD CT #3 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-228	19992 WILDWOOD CT #5 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-231	19991 WILDWOOD CT #8 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-233	19971 WILDWOOD CT #10 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-224	19952 WILDWOOD CT #1 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-229	20002 WILDWOOD CT #6 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
144-251-09	16350 S HARBOR BLVD SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
144-251-19	12192 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
144-251-05	12062 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
144-251-06	12042 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-05	12062 W EDINGER AVE #5 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-14	12062 W EDINGER AVE #14 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-37	12062 W EDINGER AVE #37 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-39		R2	H	No Change	No Change	Revised development standards
891-410-09	12062 W EDINGER AVE #9 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-29	12062 W EDINGER AVE #26 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-32	12062 W EDINGER AVE #36 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-36	12062 W EDINGER AVE #41 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-35	12062 W EDINGER AVE #54 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-37	12062 W EDINGER AVE #42 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-38	12062 W EDINGER AVE #40 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-19	12062 W EDINGER AVE #17 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-43	12062 W EDINGER AVE #43 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-12	12062 W EDINGER AVE #23 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-15	12062 W EDINGER AVE #7 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-18	12062 W EDINGER AVE #52 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-26	12062 W EDINGER AVE #48 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
890-750-57	8200 BOLSA AVE #57 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-21	8200 BOLSA AVE #21 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-24	8200 BOLSA AVE #24 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-042-96	NULL CA 92655	R2	H	No Change	No Change	Revised development standards
936-18-060	7731 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-075	7801 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-079	7781 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-080	7775 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-078	7785 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-066	7732 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-070	7835 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-071	7831 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-081	7771 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-054	7765 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-058	7741 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-072	7821 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-076	7795 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-055	7761 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-059	7735 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-061	7725 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-062	7721 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-074	7811 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-077	7791 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-063	7711 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-064	7722 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-067	7736 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
936-18-068	7845 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-056	7755 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-057	7751 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-065	7726 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-069	7841 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-073	7815 PACIFIC CIR MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
142-031-26	7852 BOLSA AVE MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-016	7750 BOLSA AVE #16 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-017	7750 BOLSA AVE #17 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-020	7750 BOLSA AVE #20 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-032	7750 BOLSA AVE #32 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-033	7750 BOLSA AVE #33 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-034	7750 BOLSA AVE #34 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-038	7750 BOLSA AVE #38 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-042	7750 BOLSA AVE #42 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-043	7750 BOLSA AVE #43 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-027	7750 BOLSA AVE #27 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-012	7750 BOLSA AVE #12 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-022	7750 BOLSA AVE #22 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-023	7750 BOLSA AVE #23 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-026	7750 BOLSA AVE #26 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-011	7750 BOLSA AVE #11 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-024	7750 BOLSA AVE #24 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-028	7750 BOLSA AVE #28 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-010	7750 BOLSA AVE #10 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-015	7750 BOLSA AVE #15 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
936-18-019	7750 BOLSA AVE #19 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
932-48-051	20031 PINEVILLE CT #51 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-070	20032 LEAFWOOD CT #70 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-071	20042 LEAFWOOD CT #71 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-072	20052 LEAFWOOD CT #72 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-074	20051 BAYWOOD CT #74 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-076	20031 BAYWOOD CT #76 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-083	20032 BAYWOOD CT #83 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-037	20051 ROYAL OAK CT #37 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-043	20012 ROYAL OAK CT #43 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-049	20051 PINEVILLE CT #49 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-055	20012 PINEVILLE CT #55 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-057	20026 PINEVILLE CT #57 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-069	20026 LEAFWOOD CT #69 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-064	20025 LEAFWOOD CT #64 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-066	20011 LEAFWOOD CT #66 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-075	20041 BAYWOOD CT #75 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-077	20025 BAYWOOD CT #77 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-081	20022 BAYWOOD CT #81 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-086	20062 BAYWOOD CT #86 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
932-48-046	20032 ROYAL OAK CT #46 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-053	20021 PINEVILLE CT #53 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-058	20032 PINEVILLE CT #58 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-060	20052 PINEVILLE CT #60 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-061	20051 LEAFWOOD CT #61 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-062	20041 LEAFWOOD CT #62 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-007	20002 BENTWOOD CT #7 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-015	19971 WOODCLIFF CT #15 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-021	19982 WOODCLIFF CT #21 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-026	19961 WRIGHTWOOD CT #26 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-029	19991 WRIGHTWOOD CT #29 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-044	20022 ROYAL OAK CT #44 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-042	20011 ROYAL OAK CT #42 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-045	20026 ROYAL OAK CT #45 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-047	20042 ROYAL OAK CT #47 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-002	19961 BENTWOOD CT #2 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-004	19981 BENTWOOD CT #4 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-005	19991 BENTWOOD CT #5 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-023	19962 WOODCLIFF CT #23 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-028	19981 WRIGHTWOOD CT #28 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-033	19982 WRIGHTWOOD CT #33 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
127-563-22	10951 BERRY AVE ANAHEIM 92804	R2	H	No Change	No Change	Revised development standards
144-251-27	NULL FOUNTAIN VALLEY CA 0	R2	H	No Change	No Change	Revised development standards
938-59-003	16275 S SUMMERVIEW CIR #3 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-004	16281 S SUMMERVIEW CIR #4 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-010	16282 S SUMMERVIEW CIR #10 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-012	16272 S SUMMERVIEW CIR #12 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-002	16271 S SUMMERVIEW CIR #2 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-008	16292 S SUMMERVIEW CIR #8 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-005	16285 S SUMMERVIEW CIR #5 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-001	16261 S SUMMERVIEW CIR #1 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-006	16291 S SUMMERVIEW CIR #6 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-011	16276 S SUMMERVIEW CIR #11 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-009	16286 S SUMMERVIEW CIR #9 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
938-59-007	16295 S SUMMERVIEW CIR #7 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
097-476-21	14642 PARK LN MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
932-48-038	20041 ROYAL OAK CT #38 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-039	20031 ROYAL OAK CT #39 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-040	20025 ROYAL OAK CT #40 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-006	20001 BENTWOOD CT #6 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-009	19982 BENTWOOD CT #9 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-010	19972 BENTWOOD CT #10 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-012	19952 BENTWOOD CT #12 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-014	19961 WOODCLIFF CT #14 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-017	19991 WOODCLIFF CT #17 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-008	19992 BENTWOOD CT #8 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
932-48-011	19962 BENTWOOD CT #11 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-016	19981 WOODCLIFF CT #16 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-019	20002 WOODCLIFF CT #19 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-041	20021 ROYAL OAK CT #41 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-001	19951 BENTWOOD CT #1 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-025	19951 WRIGHTWOOD CT #25 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-027	19971 WRIGHTWOOD CT #27 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-030	20001 WRIGHTWOOD CT #30 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-032	19992 WRIGHTWOOD CT #32 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-035	19962 WRIGHTWOOD CT #35 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-003	19971 BENTWOOD CT #3 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-013	19951 WOODCLIFF CT #13 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-018	20001 WOODCLIFF CT #18 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-020	19992 WOODCLIFF CT #20 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-022	19972 WOODCLIFF CT #22 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-024	19952 WOODCLIFF CT #24 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
131-471-07		R2	H	No Change	No Change	Revised development standards
127-341-57	10070 GILBERT ST ANAHEIM 92804	R2	H	No Change	No Change	Revised development standards
144-251-19	12192 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
097-476-22	14802 PARK LN MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-161		R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-089	20091 WINFIELD CT #3 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
890-751-73	8200 BOLSA AVE #173 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-89	8200 BOLSA AVE #34A MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-03	8200 BOLSA AVE #94 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-08	8200 BOLSA AVE #40 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-09	8200 BOLSA AVE #141 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-14	8200 BOLSA AVE #73 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-15	8200 BOLSA AVE #64 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-16	8200 BOLSA AVE #134 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-55	8200 BOLSA AVE #155 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-58	8200 BOLSA AVE #158 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-69	8200 BOLSA AVE #169 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-86	8200 BOLSA AVE #186 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-88	8200 BOLSA AVE #188 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-01	8200 BOLSA AVE #139 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-04	8200 BOLSA AVE #107 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-759-06	8200 BOLSA AVE #187 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-25	8200 BOLSA AVE #125 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-42	8200 BOLSA AVE #142 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-35	8200 BOLSA AVE #135 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-54	8200 BOLSA AVE #154 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-08	8200 BOLSA AVE #108 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-13	8200 BOLSA AVE #113 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
890-751-16	8200 BOLSA AVE #116 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-32	8200 BOLSA AVE #132 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-36	8200 BOLSA AVE #136 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-75	8200 BOLSA AVE #175 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-75	8200 BOLSA AVE #75 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-83	8200 BOLSA AVE #83 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-88	8200 BOLSA AVE #88 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-90	8200 BOLSA AVE #90 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-95	8200 BOLSA AVE #95 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-04	8200 BOLSA AVE #104 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-36	8200 BOLSA AVE #36 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-39	8200 BOLSA AVE #39 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-54	8200 BOLSA AVE #54 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-59	8200 BOLSA AVE #59 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-65	8200 BOLSA AVE #65 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-69	8200 BOLSA AVE #69 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-27	8200 BOLSA AVE #127 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-31	8200 BOLSA AVE #131 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-03	8200 BOLSA AVE #3 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-10	8200 BOLSA AVE #10 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-15	8200 BOLSA AVE #15 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-31	8200 BOLSA AVE #31 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-68	8200 BOLSA AVE #68 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-85	8200 BOLSA AVE #85 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-86	8200 BOLSA AVE #86 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-00	8200 BOLSA AVE #100 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-22	8200 BOLSA AVE #122 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-23	8200 BOLSA AVE #123 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-45	8200 BOLSA AVE #145 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-49	8200 BOLSA AVE #149 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-50	12861 WEST ST #150 GARDEN GROVE 92840	R2	H	No Change	No Change	Revised development standards
890-759-17	8200 BOLSA AVE #23 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-52	8200 BOLSA AVE #52 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-63	8200 BOLSA AVE #63 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-28	8200 BOLSA AVE #128 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-09	8200 BOLSA AVE #109 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-14	8200 BOLSA AVE #114 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
131-471-28	8151 LAMPSON AVE GARDEN GROVE 92841	R2	H	No Change	No Change	Revised development standards
891-419-30	12062 W EDINGER AVE #57 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-31	12062 W EDINGER AVE #50 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-33	12062 W EDINGER AVE #60 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-34	12062 W EDINGER AVE #12 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-06	12062 W EDINGER AVE #22 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-08	12062 W EDINGER AVE #27 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-09	12062 W EDINGER AVE #55 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-20	12062 W EDINGER AVE #30 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
891-419-21	12062 W EDINGER AVE #19 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-23	12062 W EDINGER AVE #56 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-24	12062 W EDINGER AVE #28 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-27	12062 W EDINGER AVE #20 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-15	12062 W EDINGER AVE #15 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-24	12062 W EDINGER AVE #24 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-34	12062 W EDINGER AVE #34 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-39	12062 W EDINGER AVE #39 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-44	12062 W EDINGER AVE #44 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-49	12062 W EDINGER AVE #49 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-59	12062 W EDINGER AVE #59 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-03	12062 W EDINGER AVE #3 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-06	12062 W EDINGER AVE #6 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-08	12062 W EDINGER AVE #8 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-10	12062 W EDINGER AVE #10 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-11	12062 W EDINGER AVE #11 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-18	12062 W EDINGER AVE #18 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-21	12062 W EDINGER AVE #21 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-25	12062 W EDINGER AVE #25 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-35	12062 W EDINGER AVE #35 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-46	12062 W EDINGER AVE #46 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-51	12062 W EDINGER AVE #51 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-22	12062 W EDINGER AVE #32A SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-25	12062 W EDINGER AVE #32 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-28	12062 W EDINGER AVE #38 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-02	12062 W EDINGER AVE #2 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-13	12062 W EDINGER AVE #13 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-16	12062 W EDINGER AVE #16 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-410-47	12062 W EDINGER AVE #47 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-10	12062 W EDINGER AVE #30A SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-11	12062 W EDINGER AVE #31 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-13	12062 W EDINGER AVE #29 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-14	12062 W EDINGER AVE #1 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-419-17	12062 W EDINGER AVE #33 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
891-349-27		R2	H	No Change	No Change	Revised development standards
891-349-25		R2	H	No Change	No Change	Revised development standards
142-042-93	15141 BEACH BLVD MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-26	15141 BEACH BLVD #64 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-49	15141 BEACH BLVD #49 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-58	15141 BEACH BLVD #58 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-04	15141 BEACH BLVD #47 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-06	15141 BEACH BLVD #43 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-20	15141 BEACH BLVD #55 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-22	15141 BEACH BLVD #50 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-15	15141 BEACH BLVD #1 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-17	15141 BEACH BLVD #24 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
891-340-40	15141 BEACH BLVD #40 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-42	15141 BEACH BLVD #42 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-45	15141 BEACH BLVD #45 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-46	15141 BEACH BLVD #46 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-39	15141 BEACH BLVD #39 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-48	15141 BEACH BLVD #48 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-55	15141 BEACH BLVD #55A MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-03	15141 BEACH BLVD #23 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-05	15141 BEACH BLVD #51 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-09	15141 BEACH BLVD #36 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-11	15141 BEACH BLVD #54 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-12	15141 BEACH BLVD #66 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-14	15141 BEACH BLVD #27 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-28	15141 BEACH BLVD #28 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-30	15141 BEACH BLVD #30 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-35	15141 BEACH BLVD #35 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-07	15141 BEACH BLVD #63 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-13	15141 BEACH BLVD #25 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-18	15141 BEACH BLVD #44 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-19	15141 BEACH BLVD #53 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-21	15141 BEACH BLVD #41 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-24	15141 BEACH BLVD #60 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-52	15141 BEACH BLVD #52 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-349-08	15141 BEACH BLVD #65 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-61	15141 BEACH BLVD #61 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
891-340-62	15141 BEACH BLVD #62 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-02		R2	H	No Change	No Change	Revised development standards
932-48-118	20172 WESTWIND CT #32 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-116	20152 WESTWIND CT #30 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-093	20116 WINFIELD CT #7 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-098	20072 WINFIELD CT #12 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-105	20122 WOODSTOCK CT #19 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-111	20171 WESTWIND CT #25 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-113	20151 WESTWIND CT #27 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-096	20092 WINFIELD CT #10 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-099	20171 WOODSTOCK CT #13 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-101	20151 WOODSTOCK CT #15 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-103	20131 WOODSTOCK CT #17 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-110	20172 WOODSTOCK CT #24 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-114	20141 WESTWIND CT #28 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-106	20132 WOODSTOCK CT #20 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-108	20152 WOODSTOCK CT #22 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-109	20162 WOODSTOCK CT #23 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-117	20162 WESTWIND CT #31 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-087	20071 WINFIELD CT #1 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-091	20111 WINFIELD CT #5 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
932-48-115	20142 WESTWIND CT #29 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-092	20115 WINFIELD CT #6 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-094	20112 WINFIELD CT #8 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-097	20082 WINFIELD CT #11 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-100	20161 WOODSTOCK CT #14 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-104	20121 WOODSTOCK CT #18 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-088	20081 WINFIELD CT #2 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-090	20101 WINFIELD CT #4 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-095	20102 WINFIELD CT #9 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-102	20141 WOODSTOCK CT #16 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-107	20142 WOODSTOCK CT #21 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-112	20161 WESTWIND CT #26 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
349-411-03		R2	H	No Change	No Change	Revised development standards
937-12-013	19062 E COUNTRY HOLW #13 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-015	19072 E COUNTRY HOLW #15 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-018	19092 E COUNTRY HOLW ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-022	19112 E COUNTRY HOLW #22 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-026	19125 E COUNTRY HOLW ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-030	19115 E COUNTRY HOLW ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-031	19111 E COUNTRY HOLW #31 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-001	19012 E COUNTRY HOLW #1 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-003	19042 E COUNTRY HOLW #3 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-004	19052 E COUNTRY HOLW #4 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-002	19022 E COUNTRY HOLW #2 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-006	19152 E COUNTRY HOLW #6 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-010	19132 E COUNTRY HOLW #10 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
396-313-02	13892 PONDEROSA ST SANTA ANA 92705	R2	H	No Change	No Change	Revised development standards
396-313-01	13862 PONDEROSA ST SANTA ANA 92705	R2	H	No Change	No Change	Revised development standards
097-332-32	14542 PARK GARDEN GROVE 92844	R2	H	No Change	No Change	Revised development standards
097-453-39	14852 PARK LN MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
932-48-175	6811 ROCKY GROVE CT #14 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-177	6791 ROCKY GROVE CT #16 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-180	6822 MAPLE GROVE CT #19 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-184	6811 MAPLE GROVE CT #23 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-179	6812 MAPLE GROVE CT #18 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-181	6832 MAPLE GROVE CT #20 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-183	6821 MAPLE GROVE CT #22 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-197	6832 CEDAR GROVE CT #36 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-201	6821 CEDAR GROVE CT #40 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-169	6781 WILLOW WICK CT #8 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-176	6801 ROCKY GROVE CT #15 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-178	6802 MAPLE GROVE CT #17 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-182	6831 MAPLE GROVE CT #21 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-164	6802 WILLOW WICK CT #3 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-166	6811 WILLOW WICK CT #5 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-168	6791 WILLOW WICK CT #7 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
932-48-163	6792 WILLOW WICK CT #2 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-170	6792 ROCKY GROVE CT #9 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-171	6802 ROCKY GROVE CT #10 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-174	6821 ROCKY GROVE CT #13 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-147	20221 BRIGHTWOOD CT #29 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-150	20222 BRIGHTWOOD CT #32 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-120	20201 ROCKVILLE CT #2 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-119	20191 ROCKVILLE CT #1 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-121	20205 ROCKVILLE CT #3 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-123	20221 ROCKVILLE CT #5 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-131	20191 POPLAR BLUFF CT #13 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
890-751-18	8200 BOLSA AVE #118 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-20	8200 BOLSA AVE #120 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-33	8200 BOLSA AVE #133 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-82	8200 BOLSA AVE #82 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-99	8200 BOLSA AVE #99 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-01	8200 BOLSA AVE #101 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-02	8200 BOLSA AVE #102 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-03	8200 BOLSA AVE #103 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-751-10	8200 BOLSA AVE #110 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-92	8200 BOLSA AVE #92 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-16	8200 BOLSA AVE #16 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-46	8200 BOLSA AVE #46 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-53	8200 BOLSA AVE #53 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-58	8200 BOLSA AVE #58 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-71	8200 BOLSA AVE #71 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-43	8200 BOLSA AVE #43 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-56	8200 BOLSA AVE #56 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-60	8200 BOLSA AVE #60 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-72	8200 BOLSA AVE #72 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-77	8200 BOLSA AVE #77 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-89	8200 BOLSA AVE #89 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-50	8200 BOLSA AVE #50 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-13	8200 BOLSA AVE #13 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-18	8200 BOLSA AVE #18 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-25	8200 BOLSA AVE #25 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-29	8200 BOLSA AVE #29 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-35	8200 BOLSA AVE #35 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-27	8200 BOLSA AVE #27 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-32	8200 BOLSA AVE #32 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-33	8200 BOLSA AVE #33 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-37	8200 BOLSA AVE #37 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-44	8200 BOLSA AVE #44 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-49	8200 BOLSA AVE #49 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-01	8200 BOLSA AVE #1 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
890-750-05	8200 BOLSA AVE #5 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
890-750-09	8200 BOLSA AVE #9 MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
932-48-223	6811 BLUE RIDGE CT #62 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-208	6852 FOXBOROUGH CT #47 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-220	6841 BLUE RIDGE CT #59 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-209	6851 FOXBOROUGH CT #48 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-210	6841 FOXBOROUGH CT #49 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-211	6831 FOXBOROUGH CT #50 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-195	6812 CEDAR GROVE CT #34 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-205	6822 FOXBOROUGH CT #44 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-215	6822 BLUE RIDGE CT #54 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-216	6832 BLUE RIDGE CT #55 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-217	6842 BLUE RIDGE CT #56 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-221	6831 BLUE RIDGE CT #60 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-204	6812 FOXBOROUGH CT #43 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-162	6782 WILLOW WICK CT #1 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-165	6812 WILLOW WICK CT #4 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-167	6801 WILLOW WICK CT #6 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-173	6822 ROCKY GROVE CT #12 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-189	6832 ELMHURST CT #28 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-194	6802 CEDAR GROVE CT #33 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-196	6822 CEDAR GROVE CT #35 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-198	6842 CEDAR GROVE CT #37 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-199	6841 CEDAR GROVE CT #38 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-200	6831 CEDAR GROVE CT #39 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-202	6811 CEDAR GROVE CT #41 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-186	6802 ELMHURST CT #25 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-188	6822 ELMHURST CT #27 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-192	6811 ELMHURST CT #31 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-185	6801 MAPLE GROVE CT #24 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-187	6812 ELMHURST CT #26 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-190	6831 ELMHURST CT #29 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-203	6801 CEDAR GROVE CT #42 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-172	6812 ROCKY GROVE CT #11 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
379-294-33	NULL ORANGE CA 0	R2	H	No Change	No Change	Revised development standards
937-12-023	19116 E COUNTRY HOLW #23 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-024	19141 E COUNTRY HOLW #24 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-027	19121 E COUNTRY HOLW #27 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-032	19101 E COUNTRY HOLW #32 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-028	19119 E COUNTRY HOLW #28 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-033	19095 E COUNTRY HOLW #33 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-034	19091 E COUNTRY HOLW #34 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-007	19146 E COUNTRY HOLW #7 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-011	19126 E COUNTRY HOLW #11 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-019	19096 E COUNTRY HOLW #19 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-014	19066 E COUNTRY HOLW #14 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-017	19082 E COUNTRY HOLW #17 ORANGE 92869	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
937-12-021	19106 E COUNTRY HOLW #21 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-029	19117 E COUNTRY HOLW #29 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-020	19102 E COUNTRY HOLW #20 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-025	19135 E COUNTRY HOLW #25 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-005	19156 E COUNTRY HOLW ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-008	19142 E COUNTRY HOLW #8 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-012	19122 E COUNTRY HOLW #12 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-016	19076 E COUNTRY HOLW #16 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
937-12-009	19136 E COUNTRY HOLW #9 ORANGE 92869	R2	H	No Change	No Change	Revised development standards
107-171-05	15272 VAN BUREN ST MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-206	6832 FOXBOROUGH CT #45 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-207	6842 FOXBOROUGH CT #46 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-214	6812 BLUE RIDGE CT #53 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-219	6851 BLUE RIDGE CT #58 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-212	6821 FOXBOROUGH CT #51 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-213	6811 FOXBOROUGH CT #52 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-218	6852 BLUE RIDGE CT #57 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-222	6821 BLUE RIDGE CT #61 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-191	6821 ELMHURST CT #30 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-193	6801 ELMHURST CT #32 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
086-521-20	11152 WALLINGSFORD RD LOS ALAMITOS 90720	R2	H	No Change	No Change	Revised development standards
127-401-39	9501 CERRITOS AVE ANAHEIM 92804	R2	H	No Change	No Change	Revised development standards
144-251-20	12182 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
144-251-02	12172 W EDINGER AVE SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
144-251-26	NULL FOUNTAIN VALLEY CA 0	R2	H	No Change	No Change	Revised development standards
937-69-008	16401 S CASA REY DR #8 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-011	16311 S CASA REY DR #11 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-004	16362 S CASA REY DR #4 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-007	16411 S CASA REY DR #7 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-010	16341 S CASA REY DR #10 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-001	16282 S CASA REY DR #1 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-003	16332 S CASA REY DR #3 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-005	16402 S CASA REY DR #5 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-006	16412 S CASA REY DR #6 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-009	16371 S CASA REY DR #9 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-012	16291 S CASA REY DR #12 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
937-69-002	16302 S CASA REY DR #2 SANTA ANA 92704	R2	H	No Change	No Change	Revised development standards
097-453-38	14900 PARK LN MIDWAY CITY 92655	R2	H	No Change	No Change	Revised development standards
349-411-01	NULL CA 92886	R2	H	No Change	No Change	Revised development standards
932-48-153	20202 BRIGHTWOOD CT #35 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-152	20206 BRIGHTWOOD CT #34 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-155	6772 STONEPINE CT #37 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-157	6792 STONEPINE CT #39 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-160	6771 STONEPINE CT #42 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-146	20211 BRIGHTWOOD CT #28 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
932-48-149	20232 BRIGHTWOOD CT #31 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-130	20192 ROCKVILLE CT #12 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-136	20231 POPLAR BLUFF CT #18 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-139	20212 POPLAR BLUFF CT #21 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-143	20191 BRIGHTWOOD CT #25 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-145	20205 BRIGHTWOOD CT #27 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-159	6781 STONEPINE CT #41 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-144	20201 BRIGHTWOOD CT #26 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-148	20231 BRIGHTWOOD CT #30 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-124	20231 ROCKVILLE CT #6 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-126	20222 ROCKVILLE CT #8 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-128	20206 ROCKVILLE CT #10 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-129	20202 ROCKVILLE CT #11 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-135	20221 POPLAR BLUFF CT #17 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-140	20206 POPLAR BLUFF CT #22 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-127	20212 ROCKVILLE CT #9 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-132	20201 POPLAR BLUFF CT #14 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-137	20232 POPLAR BLUFF CT #19 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-141	20202 POPLAR BLUFF CT #23 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-151	20212 BRIGHTWOOD CT #33 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-154	20192 BRIGHTWOOD CT #36 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-156	6782 STONEPINE CT #38 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-158	6791 STONEPINE CT #40 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-122	20211 ROCKVILLE CT #4 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-125	20232 ROCKVILLE CT #7 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-133	20205 POPLAR BLUFF CT #15 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-134	20211 POPLAR BLUFF CT #16 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-138	20222 POPLAR BLUFF CT #20 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
932-48-142	20192 POPLAR BLUFF CT #24 YORBA LINDA 92886	R2	H	No Change	No Change	Revised development standards
127-563-22	10951 BERRY AVE, Anaheim, CA 92804	R2	H	No Change	No Change	Revised development standards
142-031-26	7852 Bolsa Ave, Midway City, CA 92655	R2	H	No Change	No Change	Revised development standards
142-031-29	7820 Bolsa Ave, Midway City, CA 92655	R2	H	No Change	No Change	Revised development standards
127-563-05	10791 BERRY AVE ANAHEIM 92804	R2D	N/A	R2	H	
936-20-461	10801 HARCOURT AVE ANAHEIM 92804	R2D	N/A	R2	H	
936-20-462	10811 HARCOURT AVE ANAHEIM 92804	R2D	N/A	R2	H	
936-20-453	10795 GARZA AVE ANAHEIM 92804	R2D	N/A	R2	H	
936-20-452	10791 GARZA AVE ANAHEIM 92804	R2D	N/A	R2	H	
127-561-23		R2D	N/A	R2	H	
127-561-24	9341 KATELLA AVE ANAHEIM 92804	R2D	N/A	R2	H	
936-20-465	10945 GILBERT ST ANAHEIM 92804	R2D	N/A	R2	H	
936-20-466	10941 GILBERT ST ANAHEIM 92804	R2D	N/A	R2	H	
127-563-01	10741 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-02	10751 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-03	10761 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-04	10781 BERRY AVE #A-B, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-06	10801 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-563-07	10821 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-08	10831 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-09	10861 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-10	10871 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-11	10881 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-12	10901 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-13	10905 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-14	10911 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-15	10921 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-16	10929 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-563-17	10941 BERRY AVE #A, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-32	10742 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-31	10752 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-30	10756 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-29	10762 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-35	10786 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-44	10788 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-45	10802 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-26	10822 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-42	10850 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-25	10904 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-24	10910 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-23	10922 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-22	10942 BERRY AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-39	9301 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-38	9331 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-13	10941 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-12	10931 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-11	10921 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-10	10915 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-09	10901 GARZA AVE , Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-43	10841 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-37	10821 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-36	10823 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-06	10801 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-46	No Address (Triplex), Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-04	10781 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-03	10771 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-02	10751 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-562-01	10741 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-01	10742 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-02	10754 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-03	10762 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-04	10782 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-05	10792 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-06	10802 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-561-07	10824 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-08	10832 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-21	10842 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-22	10862 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-10	10874 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-11	10882 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-12	10902 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-13	10912 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-14	10922 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-15	10942 GARZA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-561-19	9361 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-29	9391 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-28	9401 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-27	9411 KATELLA AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-15	10921 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-14	10911 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-13	10903 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-12	10881 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-11	10871 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-25	10841 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-07	10831 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-06	10829 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-30	No Address (Triplex), Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-23	10791 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-22	10781 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-03	10771 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-02	10751 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-572-01	10741 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-41	10742 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-40	10752 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-39	10762 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-38	10772 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-37	10782 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-36	10792 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-35	10802 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-34	10812 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-33	10832 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-32	10852 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-31	10872 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-30	10882 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-29	10892 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-28	10892 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-27	10912 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-26	10922 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-25	10942 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-24	10962 HARCOURT AVE, Anaheim, CA 92804	R2D	N/A	R2	H	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-573-21	10961 GILBERT ST ANAHEIM 92804	R2D	N/A	R2	H	
127-573-22	9441 KATELLA AVE ANAHEIM 92804	R2D	N/A	R2	H	
127-573-23	9441 KATELLA AVE ANAHEIM 92804	R2D	N/A	R2	H	
127-573-48	No Address, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-47	10921 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-19	10915 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-18	10911 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-17	10901 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-16	10881 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-15	10871 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-14	10865 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-45	10861 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-12	10851 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-11	10841 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-10	10831 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-09	10821 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-44	10801 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-43	10801 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-42	10791 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-04	10781 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-05	10781 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-03	10761 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-02	10751 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
127-573-01	10741 GILBERT ST, Anaheim, CA 92804	R2D	N/A	R2	H	
093-113-28	11922 S ESPLANADE ST	R2D	N/A	R4	H	
093-113-29	11932 S ESPLANADE ST	R2D	N/A	R4	H	
093-113-03	18532 E PEARL AVE	R2D	N/A	R4	H	
093-113-04	18542 E PEARL AVE	R2D	N/A	R4	H	
093-113-05	18552 E PEARL AVE	R2D	N/A	R4	H	
093-113-06	18562 E PEARL AVE	R2D	N/A	R4	H	
093-113-07	18572 E PEARL AVE	R2D	N/A	R4	H	
093-113-08	18582 E PEARL AVE	R2D	N/A	R4	H	
093-113-09	18592 E PEARL AVE	R2D	N/A	R4	H	
093-114-02	18650 E Pearl Ave	R2D	N/A	R4	H	
093-114-03	18660 E Pearl Ave	R2D	N/A	R4	H	
093-114-04	18672 E PEARL AVE	R2D	N/A	R4	H	
093-114-19	18702 E Pearl Ave	R2D	N/A	R4	H	
093-114-20	18682 E Pearl Ave	R2D	N/A	R4	H	
093-111-32	18501 E PEARL AVE	R2D	N/A	R4	H	
093-111-25	18511 E Pearl Ave	R2D	N/A	R4	H	
093-111-21	18521 E PEARL AVE	R2D	N/A	R4	H	
093-111-23	18531 E PEARL AVE	R2D	N/A	R4	H	
093-111-08	18551 E PEARL AVE	R2D	N/A	R4	H	
093-111-07	18561 E PEARL AVE	R2D	N/A	R4	H	
093-111-03	11891 EARLHAM ST	R2D	N/A	R4	H	
093-111-04	11901 EARLHAM ST	R2D	N/A	R4	H	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
093-111-34	18581 E PEARL AVE	R2D	N/A	R4	H	
093-111-33	18591 E PEARL AVE	R2D	N/A	R4	H	
093-112-51	18621 E PEARL AVE #35	R2D	N/A	R4	H	
093-112-52	18631 E PEARL AVE	R2D	N/A	R4	H	
093-112-38	18641 E PEARL AVE	R2D	N/A	R4	H	
093-112-37	18651 E PEARL AVE	R2D	N/A	R4	H	
093-112-36	18661 E PEARL AVE	R2D	N/A	R4	H	
093-112-49	18671 E PEARL AVE	R2D	N/A	R4	H	
093-112-50	18681 E PEARL AVE	R2D	N/A	R4	H	
093-112-34	18691 E PEARL AVE	R2D	N/A	R4	H	
097-144-21	NULL CA 92655	R3	H	No Change	No Change	Revised development standards
937-76-030	14942 HARPER ST #2 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
937-76-031	14942 HARPER ST #3 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
937-76-032	14942 HARPER ST #4 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
937-76-029	14942 HARPER ST #1 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-14	14941 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-13	14941 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-08	14942 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-11	14941 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-15	14931 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-59	8071 ROOSEVELT AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-06	14802 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-05	14792 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-04	14772 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-09	14722 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-21	14761 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-17	14901 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-05	14902 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-14	14901 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-04	14892 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-04	14892 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-04	14892 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-17	14891 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-16	14881 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-03	14882 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-03	14882 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-18	14885 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-26	14891 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-08	14942 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-14	14941 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-14	14851 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-01	15251 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-02	8142 ELMORE WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
142-032-16	15022 PACIFIC ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-02	14872 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-23	14872 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
097-141-20	14871 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-17	14871 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-17	14871 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
127-341-52	9602 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
127-341-03	9586 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
127-341-63	NULL ANAHEIM CA 0	R3	H	No Change	No Change	Revised development standards
939-16-024	9562 BALL RD #24 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-015	9552 BALL RD #15 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-008	9542 BALL RD #8 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-019	9562 BALL RD #19 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-020	9562 BALL RD #20 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-023	9562 BALL RD #23 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-021	9562 BALL RD #21 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-013	9552 BALL RD #13 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-017	9562 BALL RD #17 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-001	9542 BALL RD #1 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-003	9542 BALL RD #3 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-006	9542 BALL RD #6 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-007	9542 BALL RD #7 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-014	9552 BALL RD #14 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-016	9552 BALL RD #16 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-018	9562 BALL RD #18 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-022	9562 BALL RD #22 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-009	9552 BALL RD #9 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-010	9552 BALL RD #10 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-002	9542 BALL RD #2 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-004	9542 BALL RD #4 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-005	9542 BALL RD #5 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-011	9552 BALL RD #11 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
939-16-012	9552 BALL RD #12 ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
107-172-23	15392 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-36	NULL CA 92655	R3	H	No Change	No Change	Revised development standards
938-27-026	8171 COBBLESTONE LN #4 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-032	8145 COBBLESTONE LN #10 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-037	8146 COBBLESTONE LN #15 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-042	8166 COBBLESTONE LN #20 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-039	8156 COBBLESTONE LN #17 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-044	8174 COBBLESTONE LN #22 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-027	8165 COBBLESTONE LN #5 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-033	8143 COBBLESTONE LN #11 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-035	8142 COBBLESTONE LN #13 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-038	8152 COBBLESTONE LN #16 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-043	8172 COBBLESTONE LN #21 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-045	8176 COBBLESTONE LN #23 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-046	8182 COBBLESTONE LN #24 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-023	8181 COBBLESTONE LN #1 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
938-27-025	8173 COBBLESTONE LN #3 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-028	8163 COBBLESTONE LN #6 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-030	8155 COBBLESTONE LN #8 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-034	8141 COBBLESTONE LN #12 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-024	8175 COBBLESTONE LN #2 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-029	8161 COBBLESTONE LN #7 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-031	8151 COBBLESTONE LN #9 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-036	8144 COBBLESTONE LN #14 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-040	8162 COBBLESTONE LN #18 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-041	8164 COBBLESTONE LN #19 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-23	14752 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-16	14691 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-20	14871 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-02	14872 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-01	14862 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-24	14862 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-08	14822 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-16	14821 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-18	14801 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-61	8041 ROOSEVELT AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-20	14861 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-01	14862 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-18	8182 WASHINGTON AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-01	14862 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-30	8153 MCFADDEN AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-18	15431 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-20	15432 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-15	14841 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-17	14811 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-31	8133 MCFADDEN AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-20	14771 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-07	14932 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-07	14932 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-34	14631 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-14	14941 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-11	14941 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-23	14938 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-07	14932 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-07	14932 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-09	14842 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-07	14812 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-10	8081 MADISON AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-17	15421 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-13	14921 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-22	14922 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-06	14922 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
097-132-17	14921 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-05	14902 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-05	14902 JACKSON ST #A MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-18	14901 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-05	14902 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-15	14891 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-04	14892 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-15	14891 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-04	14892 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-19	14891 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-12	14931 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-06	14922 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-06	14922 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-13	14921 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
127-341-01	9612 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
127-092-38	9902 BROADWAY ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
127-092-45	9922 BROADWAY ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
097-121-19	14793 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-13	14731 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-03	14762 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-14	14721 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-20	NULL CA 92655	R3	H	No Change	No Change	Revised development standards
930-15-477	8076 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-479	8066 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-480	8062 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-470	8081 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-471	8075 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-475	8086 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-469	8085 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-472	8071 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-473	8065 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-474	8061 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-476	8082 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
930-15-478	8072 PRESIDENTIAL WAY MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-34	NULL CA 92655	R3	H	No Change	No Change	Revised development standards
938-27-004	15401 VAN BUREN ST #4 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-001	15398 JACKSON ST #1 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-006	15405 VAN BUREN ST #6 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-010	15406 JACKSON ST #10 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-014	15414 JACKSON ST #14 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-012	15410 JACKSON ST #12 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-017	15420 JACKSON ST #17 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-002	15400 JACKSON ST #2 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-007	15411 VAN BUREN ST #7 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-011	15408 JACKSON ST #11 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-016	15418 JACKSON ST #16 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
938-27-009	15404 JACKSON ST #9 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-013	15412 JACKSON ST #13 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-015	15416 JACKSON ST #15 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-003	15402 JACKSON ST #3 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-005	15403 VAN BUREN ST #5 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
938-27-008	15415 VAN BUREN ST #8 MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-19	14651 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-63	8054 LEGION PL MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-03	14882 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-20	14881 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-03	14882 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-02	14872 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-17	14871 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-02	14872 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-21	14871 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-64	8072 LEGION PL MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-05	14902 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-05	14902 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-16	14901 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-14	14901 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-18	14891 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-18	14891 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-04	14892 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-21	14682 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-26	14872 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-19	15441 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-10	14852 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-26	15361 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-07	14932 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-16	14921 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-16	14921 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-06	14922 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-14	14901 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-17	14901 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-18	14671 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-04	14652 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-62	8044 LEGION PL MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-04	14892 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-18	14891 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-19	14881 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-03	14882 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-19	14881 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-16	14883 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-24	14927 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-144-25	14931 NEWLAND ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
127-351-32	9672 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-351-34	9662 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
107-172-29	8173 MCFADDEN AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-08	14942 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-08	14942 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-08	14942 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-15	14931 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-15	14931 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-14	14931 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-07	14932 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-12	14931 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-102-60	8051 ROOSEVELT AVE MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-32	15261 VAN BUREN ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-21	14861 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-21	14861 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-01	14862 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-21	14861 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-22	14861 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-06	14922 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-16	14921 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-06	14922 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-15	14921 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-13	14921 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-17	14901 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-05	14902 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
127-092-46	NULL CA 0	R3	H	No Change	No Change	Revised development standards
934-38-103	9882 BROADWAY #C ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-105	9888 BROADWAY #A ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-108	9888 BROADWAY #D ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-102	9882 BROADWAY #B ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-106	9888 BROADWAY #B ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-104	9882 BROADWAY #D ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-107	9888 BROADWAY #C ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
934-38-101	9882 BROADWAY #A ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
127-351-31	9632 BALL RD ANAHEIM 92804	R3	H	No Change	No Change	Revised development standards
097-121-22	14751 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-15	14701 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-122-22	14746 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
107-172-27	15352 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-01	14622 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-121-23	14741 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-112-03	14642 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-20	14641 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-01	14862 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-21	14861 JEFFERSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-01	14862 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-131-18	14861 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
097-112-02	14632 ADAMS ST #A MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-35	14621 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-111-17	14681 ADAMS ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-143-19	14881 HARPER ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-133-03	14882 JACKSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-142-20	14871 WILSON ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-141-02	14872 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-134-22	14871 MONROE ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
142-032-17	15000 PACIFIC ST MIDWAY CITY 92655	R3	H	No Change	No Change	Revised development standards
097-132-16	14941 Jackson St, Midway City, CA 92655	R3	H	No Change	No Change	Revised development standards
097-133-08	14942 Jackson St, Midway City, CA 92655	R3	H	No Change	No Change	Revised development standards
349-693-05		R4	H	No Change	No Change	Revised development standards
349-693-04	6603 VISTA LOMA, YORBA LINDA CA 92886	R4	H	No Change	No Change	Revised development standards
349-692-28	6622 VISTA LOMA, YORBA LINDA CA 92886	R4	H	No Change	No Change	Revised development standards
349-692-30	6612 VISTA LOMA, YORBA LINDA CA 92886	R4	H	No Change	No Change	Revised development standards
349-893-17	6700 MOSELLE CIR, YORBA LINDA CA 92886	R4	H	No Change	No Change	Revised development standards
349-893-16	6695 MOSELLE CIR, YORBA LINDA CA92886	R4	H	No Change	No Change	Revised development standards
349-894-04	6696 PALMA CIR, YORBA LINDA CA 92886	R4	H	No Change	No Change	Revised development standards
349-893-14	6685 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-21	6691 PALAMINO CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-22	6682 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-13	6681 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-12	6675 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-32	6671 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-09	6672 PALMA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-35	6672 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-10	6665 MOSELLE CIR #58, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-10	6666 PALMA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-09	6661 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-08	6655 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-12	6656 PALMA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-13	6652 PALMA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-28	6649 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-27	6643 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-29	6648 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-05	6643 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-31	6644 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-14	6630 KAMEHA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-16	6626 KAMEHA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-23	6631 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-01	6631 MOSELLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-21	6621 BRIDLE CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-02	6593 KAMEHA CIR, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-34	6771 VISTA LOMA, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-02	6746 VISTA LOMA, YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
086-494-62	12100 MONTECITO RD #144, LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
086-493-30	12100 MONTECITO RD #50, LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-63	12100 MONTECITO RD #145 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-56	12100 MONTECITO RD #138 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-51	12100 MONTECITO RD #133 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-62	12100 MONTECITO RD #82 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-52	12100 MONTECITO RD #72 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-97	12100 MONTECITO RD #161 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-98	12100 MONTECITO RD #162 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-90	12100 MONTECITO RD #154 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-74	12100 MONTECITO RD #172 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-75	12100 MONTECITO RD #173 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-53	12100 MONTECITO RD #73 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-18	3342 BRADBURY RD #38 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-12	3342 BRADBURY RD #32 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-11	3342 BRADBURY RD #31 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-16	3342 BRADBURY RD #36 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-14	3342 BRADBURY RD #34 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-03	3342 BRADBURY RD #23 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-02	3342 BRADBURY RD #22 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-18	3342 BRADBURY RD #18 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-17	3342 BRADBURY RD #17 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-08	3342 BRADBURY RD #8 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
383-062-13	18936 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-12	18932 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-44	18741 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-77	11781 S RANCHO SANTIAGO BLVD ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-19	11781 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-51	18895 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-52	18891 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-60	18811 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-61	18801 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-62	18793 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-21	18563 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-31	18551 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-24	18541 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-33	11762 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-42	11751 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-36	18851 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-33	18689 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-78	11691 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-82		R4	H	No Change	No Change	Revised development standards
383-062-28	18892 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-35	18932 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-61	18932 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-73		R4	H	No Change	No Change	Revised development standards
383-082-71	18791 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-082-69	18788 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-70	18781 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-25	18692 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-20	11791 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-16	11661 S BUCKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-62	18926 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-71	18976 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-57	18902 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-54	18882 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-65	18942 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-85		R4	H	No Change	No Change	Revised development standards
383-271-11		R4	H	No Change	No Change	Revised development standards
093-112-42	18672 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-361-12	8500 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-374-10	16582 E BIXBY AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-111-42	389 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-441-12	312 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-20	NULL NULL NULL	R4	H	No Change	No Change	Revised development standards
937-65-087	316 NAUTICA WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
937-65-084	302 NAUTICA WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
937-65-086	312 NAUTICA WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
937-65-085	306 NAUTICA WAY #2 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-111-56		R4	H	No Change	No Change	Revised development standards
439-151-24	2485 IRVINE AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
938-74-640	19801 MEADOW RIDGE DR #39 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-622	19801 MEADOW RIDGE DR #21 TRABUCO 92679	R4	H	No Change	No Change	Revised development standards
938-74-625	19801 MEADOW RIDGE DR #24 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-628	19801 MEADOW RIDGE DR #27 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-641	19801 MEADOW RIDGE DR #40 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-643	19801 MEADOW RIDGE DR #42 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-646	19801 MEADOW RIDGE DR #45 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-619	19801 MEADOW RIDGE DR #18 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-621	19801 MEADOW RIDGE DR #20 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-623	19801 MEADOW RIDGE DR #22 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-624	19801 MEADOW RIDGE DR #23 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-626	19801 MEADOW RIDGE DR #25 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-627	19801 MEADOW RIDGE DR #26 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-612	19801 MEADOW RIDGE DR #11 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-614	19801 MEADOW RIDGE DR #13 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-611	19801 MEADOW RIDGE DR #10 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-613	19801 MEADOW RIDGE DR #12 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-617	19801 MEADOW RIDGE DR #16 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-610	19801 MEADOW RIDGE DR #9 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-606	19801 MEADOW RIDGE DR #5 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-607	19801 MEADOW RIDGE DR #6 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-602	19801 MEADOW RIDGE DR #1 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
938-74-604	19801 MEADOW RIDGE DR #3 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-605	19801 MEADOW RIDGE DR #4 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-608	19801 MEADOW RIDGE DR #7 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
360-366-01	16732 E MAIN ST ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-451-08	309 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-07	311 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-15	329 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-01	2550 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-08	2610 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-02	2658 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-06	2680 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-13	330 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-07	2682 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
349-692-01		R4	H	No Change	No Change	Revised development standards
349-693-33	6761 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-32	6755 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-41	6832 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-37	6827 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-42	6828 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-28	6725 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-08	6712 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-46	6802 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-03	6742 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-04	6736 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-36	6821 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-27	6721 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-07	6716 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-33	6801 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-31	6785 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-11	6692 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-28	6771 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-27	6767 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-26	6761 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-16	6762 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-15	6672 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-06	6755 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-23	6661 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-56	6745 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-21	6645 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-22	6744 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-20	6748 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-16		R4	H	No Change	No Change	Revised development standards
349-693-17	6625 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-44	6748 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-13		R4	H	No Change	No Change	Revised development standards
349-693-12	6615 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
349-894-49	6734 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-23	6636 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-06	6605 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-07		R4	H	No Change	No Change	Revised development standards
349-894-01	6718 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-46	6707 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-27	6624 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-45	6701 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-03	6702 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-29	6696 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-15	6691 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-20	6692 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-42	6685 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-32	6682 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-20	6681 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-08	6676 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-33	6675 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-11	6671 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-34	6674 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-36	6668 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-25	6666 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-16	6661 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-37	6661 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-15	6657 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-36	6655 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-29	6651 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-35	6651 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-07	6649 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-41	6644 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-43	6640 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-04	6641 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-03	6637 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-15	6628 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-46	6632 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-11	6621 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-48	6622 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-19	6612 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
086-493-37	12100 MONTECITO RD #57 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-39	12100 MONTECITO RD #59 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-70	12100 MONTECITO RD #90 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-72	12100 MONTECITO RD #92 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-77	12100 MONTECITO RD #97 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-78	12100 MONTECITO RD #98 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-22	12100 MONTECITO RD #104 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-28	12100 MONTECITO RD #110 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-32	12100 MONTECITO RD #114 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
086-494-33	12100 MONTECITO RD #115 ROSSMOOR 90720	R4	H	No Change	No Change	Revised development standards
086-493-35	12100 MONTECITO RD #55 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-67	12100 MONTECITO RD #87 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-32	12100 MONTECITO RD #52 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-49	12100 MONTECITO RD #69 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-69	12100 MONTECITO RD #167 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-70	12100 MONTECITO RD #168 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-95	12100 MONTECITO RD #159 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-96	12100 MONTECITO RD #160 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-20	3342 BRADBURY RD #40 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-01	3342 BRADBURY RD #1 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-13	3342 BRADBURY RD #33 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-02	3342 BRADBURY RD #2 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-16	3342 BRADBURY RD #16 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-14	3342 BRADBURY RD #14 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-13	3342 BRADBURY RD #13 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-05	3342 BRADBURY RD #5 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-61	12100 MONTECITO RD #143 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-60	12100 MONTECITO RD #142 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-83	12100 MONTECITO RD #147 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-64	12100 MONTECITO RD #146 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-57	12100 MONTECITO RD #139 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-52	12100 MONTECITO RD #134 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-29	12100 MONTECITO RD #49 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-61	12100 MONTECITO RD #81 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-47	12100 MONTECITO RD #129 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-88	12100 MONTECITO RD #152 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-86	12100 MONTECITO RD #150 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-60	12100 MONTECITO RD #80 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
093-103-29	11831 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-19	11835 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-10	18571 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-29	11842 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-15	11655 S BUCKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-20	18911 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-25	18885 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-19	18915 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-05	11646 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-49	18913 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-53	18881 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-56	18851 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-58	18831 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-63	18751 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-07	18623 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-16	11771 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-48	18825 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
093-112-44	11891 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-11	18926 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-09	18916 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-30	11761 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-43	18702 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-36	18692 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-38	18632 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-42	11751 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-08	18552 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-45	11705 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-51	11702 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-73	18986 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-63	18932 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-61	18922 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-70	18972 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
439-111-48	390 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-49	388 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-441-13	310 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-09	305 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-19		R4	H	No Change	No Change	Revised development standards
439-441-16	304 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-11	303 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-17	302 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-18	300 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-04	307 CUTTER WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-01	300 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
114-200-02		R4	H	No Change	No Change	Revised development standards
114-170-52	5800 W COAST HWY NEWPORT BEACH 92663	R4	H	No Change	No Change	Revised development standards
114-170-56		R4	H	No Change	No Change	Revised development standards
114-170-73		R4	H	No Change	No Change	Revised development standards
114-170-72		R4	H	No Change	No Change	Revised development standards
114-170-71		R4	H	No Change	No Change	Revised development standards
360-365-09	8632 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-372-11	8662 ORANGE AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-374-13	16561 E BUENA VISTA AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-374-03	8591 ORANGE AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-451-06	310 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
045-055-27		R4	H	No Change	No Change	Revised development standards
114-170-74		R4	H	No Change	No Change	Revised development standards
114-170-75		R4	H	No Change	No Change	Revised development standards
349-892-49		R4	H	No Change	No Change	Revised development standards
349-892-31	6665 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-25	6711 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-32	6791 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-12	6686 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-10	6775 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
349-895-11	6781 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-05	6762 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-14	6676 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-25	6757 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-07	6761 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-41	6756 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-22	6655 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-17	6662 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-18	6752 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-54	6739 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-19	6641 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-53	6735 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-18	6635 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-21	6644 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-51	6731 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-48	6736 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-22	6642 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-10	6613 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-11		R4	H	No Change	No Change	Revised development standards
349-894-24	6703 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-25	6711 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-26	6715 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-27	6721 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-18	6701 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-19	6703 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-44	6695 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-06	6686 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-31	6692 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-21	6686 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-41	6681 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-07	6682 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-34	6672 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-24	6672 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-18	6671 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-39	6671 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-37	6666 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-38	6662 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-36	6662 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-30	6661 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-39	6656 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-27	6654 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-38	6652 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-14	6655 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-33	6645 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-42	6642 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-26	6641 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
349-893-30	6646 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-24	6635 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-45	6636 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-02	6635 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-12	6625 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-09	6617 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-08	6605 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-20	6604 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-06	6601 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-05	6599 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-03	6595 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-04	6597 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
086-493-41	12100 MONTECITO RD #61 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-42	12100 MONTECITO RD #62 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-43	12100 MONTECITO RD #63 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-44	12100 MONTECITO RD #64 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-79	12100 MONTECITO RD #99 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-80	12100 MONTECITO RD #100 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-23	12100 MONTECITO RD #105 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-24	12100 MONTECITO RD #106 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-25	12100 MONTECITO RD #107 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-26	12100 MONTECITO RD #108 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-35	12100 MONTECITO RD #117 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-36	12100 MONTECITO RD #118 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-37	12100 MONTECITO RD #119 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-59	12100 MONTECITO RD #79 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-65	12100 MONTECITO RD #163 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
093-102-28	11832 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-12	18551 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-27	11822 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-39	11692 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-48	11691 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-33	18916 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-32	18912 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-31	18906 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-30	18902 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-26	11812 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-50	18845 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-67	18824 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-06	18662 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-05	18652 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-04	18642 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-35	18622 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-21	18905 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-22	18901 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-23	18895 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-062-24	18891 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-14	11651 S BUCKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-04	11642 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-10	10 CENTER CT LAGUNA NIGUEL 92677	R4	H	No Change	No Change	Revised development standards
383-271-09	18842 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-112-27	18622 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-374-12	16571 E BUENA VISTA AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-361-11	8500 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-441-10	307 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-15	306 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-20		R4	H	No Change	No Change	Revised development standards
439-451-12	301 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
114-200-08		R4	H	No Change	No Change	Revised development standards
114-170-51		R4	H	No Change	No Change	Revised development standards
360-373-09	8711 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-451-18	322 NAUTICA WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
NULL	NULL NULL NULL	R4	H	No Change	No Change	Revised development standards
114-200-03		R4	H	No Change	No Change	Revised development standards
439-092-12	326 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-06		R4	H	No Change	No Change	Revised development standards
439-101-08	2686 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-19	2596 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-11	307 MESA DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
349-693-30	6745 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-39	6841 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-40	6842 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-43	6822 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-35	6811 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-06	6722 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-26	6715 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-44	6812 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-12	6782 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-10	6696 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-01	6782 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-29	6775 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-09	6771 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-13	6682 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-04	6768 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-17	6758 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-16	6666 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-55	6741 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-20		R4	H	No Change	No Change	Revised development standards
349-692-20	6646 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
086-493-46	12100 MONTECITO RD #66 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-66	12100 MONTECITO RD #86 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-47	12100 MONTECITO RD #67 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
086-494-43	12100 MONTECITO RD #125 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-31	12100 MONTECITO RD #51 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-64	12100 MONTECITO RD #84 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-59	12100 MONTECITO RD #141 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-63	12100 MONTECITO RD #83 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-58	12100 MONTECITO RD #140 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-46	12100 MONTECITO RD #128 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-53	12100 MONTECITO RD #135 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-45	12100 MONTECITO RD #127 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-50	12100 MONTECITO RD #132 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-49	12100 MONTECITO RD #131 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-28	3342 BRADBURY RD #48 ROSSMOOR 90720	R4	H	No Change	No Change	Revised development standards
383-082-63	18741 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-74	18869 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-73		R4	H	No Change	No Change	Revised development standards
383-082-29		R4	H	No Change	No Change	Revised development standards
093-102-11	18561 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-32	18681 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-23	18661 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-22	18651 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-28	11821 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-31	11817 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-31	11811 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-31	11811 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-24	11773 S RANCHO SANTIAGO BLVD ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-55	18861 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-11	18691 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-19	18681 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-27	18671 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-06	18631 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-17	18578 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-07	18906 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-06	18902 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-81		R4	H	No Change	No Change	Revised development standards
383-062-01	11626 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-49	18821 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-40	18811 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-41	18801 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-42	18791 E PEARL AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-16	18884 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-39	18682 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-42	18662 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-37	18642 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-07	18542 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-06	18532 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-39	11742 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-062-60	18916 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-59	18912 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-58	18906 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-43	11712 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-53	11712 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-76	11701 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-46	11701 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
439-441-14	308 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-08	303 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-10	305 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-03	304 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-03	305 CUTTER WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-02	303 CUTTER WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-35	2632 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-14		R4	H	No Change	No Change	Revised development standards
439-101-42	NULL COSTA MESA CA 0	R4	H	No Change	No Change	Revised development standards
939-14-001	300 SANTO TOMAS AVE #300 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-009	309 SANTO TOMAS AVE #309 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-012	312 SANTO TOMAS AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-002	301 SANTO TOMAS AVE #301 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-005	304 SANTO TOMAS AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-006	306 SANTO TOMAS AVE #306 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-011	311 SANTO TOMAS AVE #311 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-003	302 SANTO TOMAS AVE #302 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-004	303 SANTO TOMAS AVE #303 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-007	307 SANTO TOMAS AVE #307 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-008	308 SANTO TOMAS AVE #308 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-010	310 SANTO TOMAS AVE #310 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-013	313 SANTO TOMAS AVE #313 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-01	301 CUTTER WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-19		R4	H	No Change	No Change	Revised development standards
439-092-41	2602 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-38	NULL COSTA MESA CA 0	R4	H	No Change	No Change	Revised development standards
930-09-759	2626 SANTA ANA AVE #2 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-760	2626 SANTA ANA AVE #3 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-761	2626 SANTA ANA AVE #4 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-758	2626 SANTA ANA AVE #1 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-762	2626 SANTA ANA AVE #5 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-09	2696 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
086-493-56	12100 MONTECITO RD #76 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-38	12100 MONTECITO RD #58 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-40	12100 MONTECITO RD #60 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-69	12100 MONTECITO RD #89 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-71	12100 MONTECITO RD #91 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-21	12100 MONTECITO RD #103 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-27	12100 MONTECITO RD #109 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
086-494-34	12100 MONTECITO RD #116 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-38	12100 MONTECITO RD #120 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-39	12100 MONTECITO RD #121 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-45	12100 MONTECITO RD #65 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-36	12100 MONTECITO RD #56 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-33	12100 MONTECITO RD #53 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-65	12100 MONTECITO RD #85 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-44	12100 MONTECITO RD #126 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
383-062-27	18886 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-26	18882 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-80	18955 E APPLETREE LN #CA ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-38	18946 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-37	18942 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-59	18914 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-58	18902 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-57	18892 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-45	18762 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-27	11801 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-10	18722 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-09	18712 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-04	18562 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-03	18552 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-78	11791 S RANCHO SANTIAGO BLVD ORANGE 92869	R4	H	No Change	No Change	Revised development standards
NULL	NULL NULL NULL	R4	H	No Change	No Change	Revised development standards
093-102-33	18541 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-32	18841 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-20	18691 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-17	18621 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-365-06	8662 PALM AVE #A ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-151-23	NULL COSTA MESA CA 0	R4	H	No Change	No Change	Revised development standards
934-01-006	2481 IRVINE AVE #6 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
934-01-004	2481 IRVINE AVE #4 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
934-01-002	2481 IRVINE AVE #2 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
934-01-005	2481 IRVINE AVE #5 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
934-01-001	2481 IRVINE AVE #1 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
934-01-003	2481 IRVINE AVE #3 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-111-56		R4	H	No Change	No Change	Revised development standards
360-364-09	8592 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-08	8642 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-451-15		R4	H	No Change	No Change	Revised development standards
439-101-44	NULL COSTA MESA CA 0	R4	H	No Change	No Change	Revised development standards
939-14-022	2652 SANTA ANA AVE #4 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-020	2652 SANTA ANA AVE #2 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-019	2652 SANTA ANA AVE #1 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-021	2652 SANTA ANA AVE #3 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
939-14-023	2652 SANTA ANA AVE #5 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
939-14-024	2652 SANTA ANA AVE #6 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-01	2648 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-02	2556 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-12	311 MESA DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
017-034-05	1372 KOOPMANS WAY LA HABRA 90631	R4	H	No Change	No Change	Revised development standards
086-494-83	12100 MONTECITO RD #181 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-67	12100 MONTECITO RD #165 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-78	12100 MONTECITO RD #176 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-94	12100 MONTECITO RD #158 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-76	12100 MONTECITO RD #174 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-89	12100 MONTECITO RD #153 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-57	12100 MONTECITO RD #77 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-27	3342 BRADBURY RD #47 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-25	3342 BRADBURY RD #45 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-84	12100 MONTECITO RD #182 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-68	12100 MONTECITO RD #166 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-71	12100 MONTECITO RD #169 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-54	12100 MONTECITO RD #74 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-85	12100 MONTECITO RD #183 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-19	3342 BRADBURY RD #39 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-04	3342 BRADBURY RD #4 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-15	3342 BRADBURY RD #35 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-04	3342 BRADBURY RD #24 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-08	3342 BRADBURY RD #28 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-07	3342 BRADBURY RD #27 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-19	3342 BRADBURY RD #19 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-15	3342 BRADBURY RD #15 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-12	3342 BRADBURY RD #12 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-07	3342 BRADBURY RD #7 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-06	3342 BRADBURY RD #6 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
093-102-18	11851 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-34	11852 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-19	18611 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-28	18891 E CENTER AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-18	11832 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-12		R4	H	No Change	No Change	Revised development standards
383-062-72	18982 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-84		R4	H	No Change	No Change	Revised development standards
383-062-67	18952 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-55	18886 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-64	18936 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-44	11711 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-271-47	11888 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-46	11761 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-41	11752 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-364-04	16721 E BUENA VISTA AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
360-374-06	16591 E BUENA VISTA AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-111-46	394 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-38	381 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-47	392 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-451-13		R4	H	No Change	No Change	Revised development standards
439-441-21		R4	H	No Change	No Change	Revised development standards
439-451-02	302 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
114-170-43		R4	H	No Change	No Change	Revised development standards
422-311-11		R4	H	No Change	No Change	Revised development standards
856-131-03	NULL CA 92679	R4	H	No Change	No Change	Revised development standards
938-74-603	19801 MEADOW RIDGE DR #2 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-649	19801 MEADOW RIDGE DR #48 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-653	19801 MEADOW RIDGE DR #52 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-632	19801 MEADOW RIDGE DR #31 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-634	19801 MEADOW RIDGE DR #33 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-635	19801 MEADOW RIDGE DR #34 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-638	19801 MEADOW RIDGE DR #37 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-645	19801 MEADOW RIDGE DR #44 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-648	19801 MEADOW RIDGE DR #47 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-644	19801 MEADOW RIDGE DR #43 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-650	19801 MEADOW RIDGE DR #49 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-658	19801 MEADOW RIDGE DR #57 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-609	19801 MEADOW RIDGE DR #8 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-615	19801 MEADOW RIDGE DR #14 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-618	19801 MEADOW RIDGE DR #17 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-629	19801 MEADOW RIDGE DR #28 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-631	19801 MEADOW RIDGE DR #30 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-633	19801 MEADOW RIDGE DR #32 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-636	19801 MEADOW RIDGE DR #35 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-637	19801 MEADOW RIDGE DR #36 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-642	19801 MEADOW RIDGE DR #41 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-651	19801 MEADOW RIDGE DR #50 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-654	19801 MEADOW RIDGE DR #53 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-656	19801 MEADOW RIDGE DR #55 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-657	19801 MEADOW RIDGE DR #56 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-616	19801 MEADOW RIDGE DR #15 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-620	19801 MEADOW RIDGE DR #19 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-647	19801 MEADOW RIDGE DR #46 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-652	19801 MEADOW RIDGE DR #51 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-655	19801 MEADOW RIDGE DR #54 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-630	19801 MEADOW RIDGE DR #29 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
938-74-639	19801 MEADOW RIDGE DR #38 TRABUCO CANYON 92679	R4	H	No Change	No Change	Revised development standards
439-121-01	2546 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-451-04	306 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-441-05	309 CUTTER WAY COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-34	2632 SANTA ANA AVE #A COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
439-091-11	315 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
349-895-08	6765 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-24	NULL CA 92886	R4	H	No Change	No Change	Revised development standards
936-84-125	6685 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-123	6691 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-124	6687 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-126	6683 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-115	6703 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-117	6707 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-116	6705 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-118	6671 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-119	6675 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-114	6701 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-120	6699 VISTA LOMA #7 YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-121	6697 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
936-84-122	6693 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-24	6751 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-39	6760 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-40	6758 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-57	6751 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-42	6752 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-23	6742 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-18	6656 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-21	6746 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-19	6750 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-19	6652 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-14	6621 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-15		R4	H	No Change	No Change	Revised development standards
349-894-43	6750 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-47	6742 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-50	6732 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-47	6711 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-25	6632 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-26	6626 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
439-451-09	307 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-092-11	324 DEL MAR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-13	319 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-09	2592 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-05	2678 SANTA ANA AVE COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-101-10	301 MESA DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
086-493-84	12100 MONTECITO RD #148 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-55	12100 MONTECITO RD #137 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-54	12100 MONTECITO RD #136 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-50	12100 MONTECITO RD #70 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-51	12100 MONTECITO RD #71 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-48	12100 MONTECITO RD #130 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
086-493-87	12100 MONTECITO RD #151 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-85	12100 MONTECITO RD #149 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-58	12100 MONTECITO RD #78 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-66	12100 MONTECITO RD #164 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-79	12100 MONTECITO RD #177 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-80	12100 MONTECITO RD #178 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-26	3342 BRADBURY RD #46 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-24	3342 BRADBURY RD #44 ROSSMOOR 90720	R4	H	No Change	No Change	Revised development standards
086-493-93	12100 MONTECITO RD LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-81	12100 MONTECITO RD #179 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-91	12100 MONTECITO RD #155 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-82	12100 MONTECITO RD #180 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-92	12100 MONTECITO RD #156 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-23	3342 BRADBURY RD #43 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-22	3342 BRADBURY RD #42 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-21	3342 BRADBURY RD #41 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-72	12100 MONTECITO RD #170 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-77	12100 MONTECITO RD #175 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-55	12100 MONTECITO RD #75 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-73	12100 MONTECITO RD #171 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-86	12100 MONTECITO RD #184 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-17	3342 BRADBURY RD #37 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-10	3342 BRADBURY RD #30 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-09	3342 BRADBURY RD #29 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-01	3342 BRADBURY RD #21 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-06	3342 BRADBURY RD #26 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-20	3342 BRADBURY RD #20 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-05	3342 BRADBURY RD #25 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-11	3342 BRADBURY RD #11 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-03	3342 BRADBURY RD #3 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-10	3342 BRADBURY RD #10 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-09	3342 BRADBURY RD #9 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-30	12100 MONTECITO RD #112 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-31	12100 MONTECITO RD #113 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-68	12100 MONTECITO RD #88 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-40	12100 MONTECITO RD #122 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-34	12100 MONTECITO RD #54 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-42	12100 MONTECITO RD #124 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-41	12100 MONTECITO RD #123 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-48	12100 MONTECITO RD #68 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
383-062-42	11706 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-75	11705 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-77	11695 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-40	11696 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-47	11695 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-32	11792 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-081-50	18905 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-18	18580 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-45	11771 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-59	18821 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-57	18841 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-17	18707 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-08	18627 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-05	18619 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-25	18531 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-34	11772 S ESPLANADE ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-03	11638 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-02	11632 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-10	18922 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-08	18912 E MULBERRY LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-13	18862 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-71	18828 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-65	18782 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-101-35	18562 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-364-03	8621 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-374-07	16581 E BUENA VISTA AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-371-08	8604 ORANGE AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-371-09	8592 ORANGE AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-111-41	387 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-56		R4	H	No Change	No Change	Revised development standards
439-111-40	385 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-44	398 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-39	383 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-45	396 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-441-07	301 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
114-170-24		R4	H	No Change	No Change	Revised development standards
114-200-04		R4	H	No Change	No Change	Revised development standards
422-311-07		R4	H	No Change	No Change	Revised development standards
422-311-09		R4	H	No Change	No Change	Revised development standards
422-311-10		R4	H	No Change	No Change	Revised development standards
349-693-35		R4	H	No Change	No Change	Revised development standards
349-693-36		R4	H	No Change	No Change	Revised development standards
349-693-31	6751 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-38	6831 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-29	6735 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-05	6732 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-34	6805 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-45	6806 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-09	6702 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-30	6781 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-13	6776 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-02	6776 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
349-895-14	6772 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-03	6772 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-895-15	6768 TAHITIAN CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-52	6733 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-46	6744 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-45	6746 CHAMPAGNE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-48	6715 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-08	6611 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-09		R4	H	No Change	No Change	Revised development standards
349-692-24	6634 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-49	6721 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-02	6712 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-23	6701 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-692-29	6616 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-28	6723 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-03		R4	H	No Change	No Change	Revised development standards
349-693-02	6601 VISTA LOMA YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-22	6695 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-43	6691 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-30	6694 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-05	6692 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-40	6675 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-33	6676 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-23	6674 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-19	6675 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-31	6665 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-35	6666 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-17	6665 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-38	6665 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-11	6662 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-26	6662 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-894-37	6656 PALAMINO CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-693-01		R4	H	No Change	No Change	Revised development standards
349-692-31		R4	H	No Change	No Change	Revised development standards
349-892-40	6648 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-28	6652 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-34	6647 PALMA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-06	6645 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-25	6639 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-893-32	6640 MOSELLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-44	6638 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-13	6631 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-17	6624 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-22	6625 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-47	6626 BRIDLE CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-18	6622 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
349-892-10	6619 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-01	6591 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
349-892-07	6603 KAMEHA CIR YORBA LINDA 92886	R4	H	No Change	No Change	Revised development standards
017-033-17	1361 KOOPMANS WAY LA HABRA 90631	R4	H	No Change	No Change	Revised development standards
086-493-73	12100 MONTECITO RD #93 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-74	12100 MONTECITO RD #94 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-75	12100 MONTECITO RD #95 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-76	12100 MONTECITO RD #96 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-81	12100 MONTECITO RD #101 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-493-82	12100 MONTECITO RD #102 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
086-494-29	12100 MONTECITO RD #111 LOS ALAMITOS 90720	R4	H	No Change	No Change	Revised development standards
383-062-69	18966 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-68	18962 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-66	18946 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-56	18896 E APPLETREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-86		R4	H	No Change	No Change	Revised development standards
383-271-01	11868 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-74	11711 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-03	11822 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-36	11811 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-60	18922 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-72	18862 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-082-68	18812 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-26	18682 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-07	18674 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-103-34	11812 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-05	18582 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-49	11692 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-79	11685 BLACKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-29	18896 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-36	18936 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-34	18926 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-17	11665 S BUCKTHORN LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-18	18921 E BERRYTREE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-102-25	18512 E VINE AVE ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-64	18796 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-081-45	18790 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-35	11751 HEWES ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-40	18626 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
093-100-41	18622 E SPRING ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-52	11706 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-41	11702 S BIRCHBARK LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
383-062-50	11696 S SUGARPINE LN ORANGE 92869	R4	H	No Change	No Change	Revised development standards
360-365-13	16731 E MAIN ST #B ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-111-50	386 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards
439-111-51	384 SEAWIND DR NEWPORT BEACH 92660	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
439-111-56		R4	H	No Change	No Change	Revised development standards
439-441-11	314 CANOE POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
360-364-02	8581 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-01	8631 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-07	8652 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-372-01	8631 PALM AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-03	8651 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-02	8641 OCEANVIEW AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-365-14	16701 E MAIN ST #A ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-372-09	NULL ORANGE CA 0	R4	H	No Change	No Change	Revised development standards
935-47-004	8654 ORANGE AVE #4 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
935-47-002	8654 ORANGE AVE #2 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
935-47-003	8654 ORANGE AVE #3 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
935-47-001	8654 ORANGE AVE #1 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
935-47-005	8654 ORANGE AVE #5 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
935-47-006	8654 ORANGE AVE #6 ORANGE 92865	R4	H	No Change	No Change	Revised development standards
360-366-07	1289 E LINCOLN AVE ORANGE 92865	R4	H	No Change	No Change	Revised development standards
439-451-05	308 SALT POND COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
093-102-37	11821 EARLHAM ST ORANGE 92869	R4	H	No Change	No Change	Revised development standards
439-092-37	NULL CA 92627	R4	H	No Change	No Change	Revised development standards
930-09-403	304 CUTTER WAY #3 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-404	306 CUTTER WAY #4 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-402	302 CUTTER WAY #2 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-406	310 CUTTER WAY #6 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-401	300 CUTTER WAY #1 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
930-09-405	308 CUTTER WAY #5 COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-14	329 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
439-091-12	317 UNIVERSITY DR COSTA MESA 92627	R4	H	No Change	No Change	Revised development standards
360-374-05	16601 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-374-04	8611 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-374-11	16562 E Bixby Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-374-09	8592 Magnolia Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-11	8574 Magnolia Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-10	8582 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-06	16641 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-07	8622 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-04	16665 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-371-03	166671 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-364-01	8571 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-13	16761 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-14	16741 E Buena Vista, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-09	8582 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-364-08	8622 Palm Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-364-07	16691 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-364-06	16701 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-364-05	16711 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
360-361-14	16741 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-13	16761 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-04	16801 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-361-05	16781 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-09	16572 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-10	16582 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-11	16592 E Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-01	8631 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-02	8641 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-375-03	8651 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-08	8632 Orange Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-02	8651 Palm Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-05	16651 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-10	16641 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-04	16661 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-372-03	16671 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-04	8632 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-05	8642 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-06	8652 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-03	8656 Oceanview Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-02	16772 Buena Vista Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-366-01	16732 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-12	16741 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-11	16751 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-14	16761 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-13	16771 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-362-09	16781 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-373-03	16662 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-373-01	8701 Palm Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-366-13	8702 Palm Ave, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-366-12	16702 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-366-02	16712 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-366-01	16732 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-363-04	16742 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-363-03	16752 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-363-02	16762 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
360-363-01	16772 E Main St, Orange, CA 92865	R4	H	No Change	No Change	Revised development standards
093-100-05	18619 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-06	18631 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-07	18623 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-08	18627 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-11	18691 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-17	18701 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-19	18681 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-27	18671 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-36	18692 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
093-100-37	18642 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-38	18632 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-39	18682 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-40	18626 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-41	18622 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-42	18662 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-43	18702 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-100-44	18741 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-07	18542 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-08	18552 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-16	11771 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-17	18578 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-18	18580 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-19	11781 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-20	11791 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-24	18541 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-25	18531 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-30	11761 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-31	18551 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-33	11762 N Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-34	11772 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-35	18562 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-101-41	11752 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-03	18552 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-04	18562 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-05	18582 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-10	18571 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-11	18561 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-12	18551 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-18	11851 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-19	11835 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-24	11815 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-25	18512 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-26	11812 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-28	11832 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-29	11842 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-31	11817 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-32	11821 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-33	18541 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-102-34	11852 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-03	11822 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-04	18642 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-05	18652 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-06	18662 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-07	18672 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-09	18712 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
093-103-10	18722 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-17	18621 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-18	11832 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-19	11842 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-20	18691 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-22	18653 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-25	18692 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-26	18682 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-27	11801 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-28	11821 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-29	11831 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-31	11811 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-32	18681 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-33	18689 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-34	11812 A Earlham, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-103-35	11812 B Earlham, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-02	11879 Earlham St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-19	18572 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-27	18532 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-28	18552 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-29	18562 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-30	11862 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-111-31	11882 S Esplanade St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-18	18702 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-28	18632 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-29	18642 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-43	11871 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-45	11901 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-46	11911 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-47	11861 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
093-112-48	11881 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-13	18862 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-14	18874 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-15	18882 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-17	18912 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-18	18916 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-19	18922 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-20	18932 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-21	11741 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-22	11751 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-23	11761 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-47	18935 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-48	18925 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-54	18851 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-66	18798 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-67	18820 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-081-68	11742 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-69	18772 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-70	18800 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-73	18871 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-74	18865 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-75	11762 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-081-76	18826 E Spring St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-18	11815 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-19	11821 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-20	11831 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-21	11841 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-22	18935 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-23	18925 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-24	18915 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-25	18905 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-26	18895 E Center Ave A, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-27	18893 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-30	18861 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-31	18851 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-33	18825 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-34	18831 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-35	18811 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-36	18801 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-37	18771 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-38	18763 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-47	18802 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-49	18833 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-51	18852 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-54	18869 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-55	18871 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-56	18882 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-62	11811 S Rancho Santiago Blvd, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-64	11852 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-65	11836 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-66	11832 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-082-72	18862 E Vine Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-02	11882 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-03	18772 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-04	18782 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-05	18794 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-06	18802 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-07	18822 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-08	18832 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-13	18872 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-14	18882 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-15	18892 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
383-271-16	18902 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-17	18912 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-18	18922 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-19	18932 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-20	18942 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-21	18952 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-22	18962 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-23	18972 E Center Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-24	18971 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-25	18961 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-26	18951 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-27	18941 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-28	18931 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-29	18921 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-30	18911 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-31	18901 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-32	18891 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-33	18881 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-34	18871 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-35	18861 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-37	18841 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-38	18831 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-43	18781 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-44	18771 E Pearl Ave, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-45	11912 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
383-271-46	11902 Hewes St, Orange, CA 92869	R4	H	No Change	No Change	Revised development standards
127-524-01	10691 BROOKHURST ST ANAHEIM 92804	RP	N/A	MX	H	
127-392-21	10471 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-22	10461 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-23	10451 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-24	10431 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-25	10421 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-26	10411 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-392-27	10391 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-01	10501 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-02	10511 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-03	10531 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-04	10541 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-05	10551 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-06	10561 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-07	10571 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-08	10581 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-09	10591 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-10	10601 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-11	10611 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-12	10621 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	

APN	Property Address	Current Base Zoning	Current Overlay	Proposed Base Zone	Proposed Overlay	Additional Changes
127-521-13	10631 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-521-14	10651 S. Brookhurst, Anaheim, CA 92804	RP	N/A	MX	H	
127-524-01	10691 BROOKHURST ST ANAHEIM 92804	RP	N/A	MX	H	
127-521-15	9971 Pacific Avenue, Anaheim, CA 92804	RP	N/A	MX	H	

ORDINANCE NO. _____

AN ORDINANCE OF THE COUNTY OF ORANGE, STATE OF CALIFORNIA AMENDING SECTIONS 7-9-22.2, 7-9-23.3, 7-9-25.2, 7-9-31.2, 7-9-32.2, 7-9-32.3, 7-9-32.4, 7-9-33.1, 7-9-33.2, 7-9-33.3, 7-9-33.4, 7-9-34.2, 7-9-34.3, 7-9-36, 7-9-36.1, 7-9-36.2, 7-9-36.3, 7-9-36.4, 7-9-36.5, 7-9-44, 7-9-44.1, 7-9-44.2, 7-9-44.3, 7-9-44.4, 7-9-44.5, 7-9-51.8, 7-9-61.9, 7-9-64, 7-9-65, 7-9-66, 7-9-70.3, 7-9-70.9, 7-9-87, 7-9-87.1, 7-9-87.2, 7-9-87.3, 7-9-87.4, 7-9-88, 7-9-114.9, 7-9-116.1, 7-9-117.9, 7-9-124, 7-9-124.1, 7-9-124.2, 7-9-124.3, 7-9-125, and 7-9-135.1 OF THE CODIFIED ORDINANCES OF THE COUNTY OF ORANGE

NOW, THEREFORE, THE BOARD OF SUPERVISORS OF THE COUNTY OF ORANGE DOES ORDAIN AS FOLLOWS:

SECTION 1. Section 7-9-22.2 is hereby amended as follows:

Sec. 7-9-22.- Organization of the Zoning Code.

Sec. 7-9-22.2. - Types of regulations.

Four (4) types of zoning regulations control the use and development property to which this Code applies:

- (a) *Land use regulations.* These regulations specify land uses permitted, conditionally permitted, or specifically prohibited in each zoning district, and include special requirements, if any, applicable to specific uses. Land use regulations for base zoning districts and for overlay and other districts are in Subarticles 2 and 3 of this Code. Certain regulations, applicable in some or all of the districts, and performance standards which govern special uses, are in Subarticles 4 and 5.
- (b) *Development regulations.* These regulations control the height, bulk, location, and appearance of structures on development sites. Development regulations for base zoning districts and for overlay and other districts are in Subarticles 2 and 3 respectively of this Code. Development standards and site regulations that apply throughout most or all of the unincorporated area of the county are in Subarticle 4. These include regulations for parking, setbacks, landscaping, and irrigation. Development regulations and procedural requirements applicable to specific uses in some or all districts are in Subarticle 5. These include regulations for accessory uses, signs, antennas, wireless communications facilities, and nonconforming uses.
- (c) *Administrative regulations.* These regulations in Subarticle 6 of this Code contain detailed procedures for the administration of zoning regulations, and include procedures, processes, and standards for discretionary and ministerial permit applications and other permits.
- (d) *General Terms.* Subarticle 7 provides a list of use classifications and definitions used in the Code. However, definitions contained in specific Zoning Code sections are to be used specifically for those sections.

SECTION 2. Section 7-9-23.3 is hereby amended as follows:

Sec. 7-9-23- General rules for construction of language and interpretation.

Sec. 7-9-23.3. – Fractions.

Whenever this Code requires consideration of distances, parking spaces, dwelling units, or other aspects of development or the physical environment that are expressed in numerical quantities and the result of a calculation contains a fraction of a whole number, the results shall be rounded as follows:

- (a) *General rounding.* Fractions of one-half (0.5) or greater shall be rounded up to the nearest whole number, and fractions of less than one-half (0.5) shall be rounded down to the nearest whole number, except as otherwise provided.
- (b) *Dwelling unit rounding.* Numerical quantities and the result of a calculation that contain a fraction of a whole number, shall be rounded up to the nearest whole number.

SECTION 3. Section 7-9-25.2 is hereby amended as follows:

Sec. 7-9-25. - Zones and districts.

Sec. 7-9-25.2. - Establishment of districts and interpretation of district boundaries.

- (c) Designation of base zoning districts.

Table 7-9-25.2(c) lists the base zoning districts into which the County is divided with their map symbols and corresponding General Plan land use designations.

TABLE 7-9-25.2(c) - BASE ZONING DISTRICTS		
<i>Map Symbol</i>	<i>Full Name</i>	<i>General Plan Land Use Designation</i>
Agriculture/Open Space Districts		
A1	General Agricultural	Rural Residential
B1	Buffer	Open Space
OS	Open Space	Open Space
Single-Family Residential Districts		
AR	Agricultural Residential	Suburban Residential
E1	Estates	Suburban Residential
E4	Small Estates	Suburban Residential
RE	Residential Estates	Suburban Residential
RHE	Residential Hillside Estates	Suburban Residential

RS	Residential, Single-Family	Suburban Residential
R1	Single-Family Residence	Suburban Residential
Multifamily Residential Districts		
R4	Suburban Multifamily Residential	Suburban Residential
R2	Multifamily Dwelling	Urban Residential
R3	Apartment	Urban Residential
Mixed-Use and Commercial Districts		
C1	Local Business	Community Commercial
MX	Mixed-Use	Suburban Residential Urban Residential
CN	Commercial Neighborhood	Community Commercial
C2	General Business	Regional Commercial
Employment Districts		
M1	Light Industrial	Employment
Other District		
SG	Sand and Gravel Extraction	Open Space

(d) Designation of Overlay and Combining Districts.

Table 7-9-25.2(d) lists Overlay, Combining, and Other Districts into which the County is divided with their map symbols. These districts may be combined with the base zoning districts listed in Table 7-9-25.2(c), Base Zoning Districts pursuant to Article 2, Subarticle 3 of the Zoning Code. In any district where the base zoning district symbol is followed by one of the following district symbols, the additional requirements, limitations, and standards of the overlay or combining district may apply.

TABLE 7-9-25.2.(d) - OVERLAY, COMBINING, AND OTHER DISTRICTS	
CD	Coastal Development Combining
E	Equine Combining
FP	Floodplain Overlay
GPI	General Plan Implementation Combining
H	Housing Opportunities Overlay
O	Oil Production Combining
PC	Planned Community Combining
PD	Planned Development Combining
SH	Scenic Highway Combining
SS	Service Station Combining
SR	Sign Restriction Combining
S	Specific Plan Combining

SECTION 4. Section 7-9-31.2 is hereby amended as follows:

Sec. 7-9-31. – Single-Family Residential Districts

Sec. 7-9-31.2. Land Use Regulations.

Table 7-9-31.2 and section 7-9-31.4, "Supplemental regulations," prescribe the land use regulations for Single-Family Residential Districts. The regulations for each district are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

- (a) "P" designates principal permitted uses. Permitted uses, except those in R1, shall comply with section 7-9-121.
- (b) "SDP" designates uses that are principal permitted uses subject to the approval of a Site Development Permit.
- (c) "UP" designates uses that are principal permitted uses subject to the approval of a Use Permit.

- (d) "#" indicates the use classification shall comply with specific limitations listed at the end of the table.
- (e) "—" designates uses that are not permitted.
- (f) "NA" designates development standards that are not applicable.

Land use classifications and definitions are located in sections 7-9-134 and 7-9-135. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and sub-classifications not listed in the table or not found to be substantially similar to the uses below shall be prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other related sections of this Zoning Code.

In the Single-Family Residential Districts, the following uses are prohibited:

- (a) Commercial stockpiling or processing of manure.
- (b) Keeping pets or animals for any commercial purpose unless otherwise provided for by an approved Use Permit.
- (c) Storage of vehicles, equipment, or products related to a commercial activity not permitted in this district.

TABLE 7-9-31.2: LAND USE REGULATIONS— SINGLE-FAMILY RESIDENTIAL DISTRICTS								
	AR	E1	RHE	E4	RE	R1	RS	Additional Regulations
RESIDENTIAL								
Accessory Dwelling Unit	P	P	P	P	P	P	P	Per section 7-9-65
Alcoholism or Drug Abuse Recovery/Treatment Facilities Small	P ²	P ²	P ²	P ²	P ²	P ²	P ²	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Community Care Facilities - Large	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	No more than 12 persons (maximum) shall be served in the facility Per section 7-9-95 and 7-9-134/135
Community Care Facilities - Small	P	P	P	P	P	P	P	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135

Congregate Living Health Facility Large	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	UP ¹	7 to 12 persons (maximum) may be served in the facility Per section 7-9-95 and 7-9-134/135
Congregate Living Health Facility Small	P	P	P	P	P	P	P	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Group Home Small	p ^{2,3}	p ^{2,3}	p ^{2,3}	p ^{2,3}	p ^{2,3}	p ^{2,3}	p ^{2,3}	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
In-home Family Child Care, Large	P	P	P	P	P	P	P	Shall provide care to no more than 14 children Per section 7-9-95
In-home Family Child Care, Small	P	P	P	P	P	P	P	Shall provide care to no more than 8 children Per section 7-9-95

SECTION 5. Section 7-9-32.1 is hereby amended as follows:

Sec. 7-9-32. - Multifamily Residential Districts.

Sec. 7-9-32.1. - Purpose and intent.

The purpose of the Multifamily Residential districts is to provide for medium- to high-density residential development. These districts also include a variety of neighborhood-serving facilities and services such as schools, childcare facilities, community assembly facilities as well as local and community open space, trails, and parks.

- (a) The R2 “Multifamily Dwelling” District is established to provide for the development and maintenance of high-density multifamily residential neighborhoods with a low building height and a minimum amount of open space at a minimum density of thirty (30) dwelling units per acre. Those uses are permitted that are complementary to and compatible with such a residential neighborhood.

- (b) The R3 “Apartment” District is established to provide for the development and maintenance of high-density multifamily residential neighborhoods with taller buildings and a minimum amount of open space at a minimum density of thirty (30) dwelling units per acre. Only those uses which are compatible with high-density residential uses are permitted.
- (c) The R4 “Suburban Multifamily” District is established to provide for the development and maintenance of high-density multifamily residential neighborhoods with a moderate amount of open spaces at a minimum density of thirty (30) dwelling units per acre. Only those uses are permitted that are complementary to and are compatible with such a residential neighborhood.

SECTION 6. Section 7-9-32.2 is hereby amended as follows:

Sec. 7-9-32. - Multifamily Residential Districts.

Sec. 7-9-32.2. Land use regulations.

Table 7-9-32.2 and section 7-9-32.4, “Supplemental regulations,” prescribes the land use regulations for Multifamily Residential Districts. The regulations for each district are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

- (a) “P” designates principal permitted uses.
- (b) “SDP” designates uses that are principal permitted uses subject to the approval of a Site Development Permit.
- (c) “UP” designates uses that are principal permitted uses subject to the approval of a Use Permit.
- (d) “#” indicates the use classification shall comply with specific limitations listed at the end of the table.
- (e) “—” designates uses that are not permitted.
- (f) “NA” designates development standards that are not applicable.

Land use classifications and definitions are located in sections 7-9-134 and 7-9-135. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and sub-classifications not listed in the table or not found to be substantially similar to the uses below shall be prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other related sections of this Zoning Code.

In the Multifamily Residential Districts, the following uses are prohibited:

- (a) Apiaries.
- (b) Keeping pets or animals for any commercial purpose unless otherwise provided for by an approved permit.
- (c) The storage of vehicles, equipment, or products related to a commercial activity not permitted in this district.

TABLE 7-9-32.2: LAND USE REGULATIONS—MULTIFAMILY RESIDENTIAL DISTRICTS				
	R2	R3	R4	Additional Regulations
RESIDENTIAL				
Alcoholism or Drug Abuse Recovery/Treatment Facilities -Large	UP ^{1,2}	UP ^{1,2}	UP ^{1,2}	7 or more persons may be served in the facility Per section 7-9-95 and 7-9-134/135
Alcoholism or Drug Abuse Recovery/Treatment Facilities -Small	p ²	p ²	p ²	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Community Care Facilities - Large	UP ¹	UP ¹	UP ¹	7 to 12 persons (maximum) may be served in the facility Per section 7-9-95 and 7-9-134/135
Community Care Facilities - Small	P	P	P	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Congregate Living Health Facility – Large	UP ¹	UP ¹	UP ¹	7 or more persons may be served in the facility Per section 7-9-95 and 7-9-134/135
Congregate Living Health Facility – Small	P	P	P	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Duplex	p ¹⁰	p ¹⁰	p ¹⁰	Per section 7-9-135
Fraternity or sorority house	-	SDP	-	Per section 7-9-135

TABLE 7-9-32.2: LAND USE REGULATIONS—MULTIFAMILY RESIDENTIAL DISTRICTS				
	R2	R3	R4	Additional Regulations
Group Home, Large	UP ^{1,2,3}	UP ^{1,2,3}	UP ^{1,2,3}	7 or more persons may be served in the facility Per section 7-9-95 and 7-9-134/135
Group Home, Small	p ^{2,3}	p ^{2,3}	p ^{2,3}	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
In-home Family Child Care, Large	P	P	P	Shall provide care to no more than 14 children Per section 7-9-95
In-home Family Child Care, Small	P	P	P	Shall provide care to no more than 8 children Per Section 7-9-95
Mobilehome Developments	UP	UP	UP	Per section 7-9-92
Multifamily Dwelling	P/SDP/UP ^{4,9,10}	P/SDP/UP ^{4,9,10}	P/SDP/UP ^{4,9,10}	Per section 7-9-134.2
Planned (Unit) Development	UP ^{9, 10}	UP ^{9, 10}	UP ^{9, 10}	Per section 7-9-48
Senior Citizen Housing Development	SDP/UP ^{4, 10}	SDP/UP ^{4, 10}	SDP/UP ^{4, 10}	Shall have no less than 35 units Per section 7-9-135
Senior Living Facilities	UP ¹	UP ¹	UP ¹	Per section 7-9-98
Short-Term Rentals	p ⁵	p ⁵	p ⁵	Per section 7-9-93
Single-Room Occupancy (SRO)	-	UP	-	Per section 7-9-88
Sober Living Home - Large	UP ^{1,2,3}	UP ^{1,2,3}	UP ^{1,2,3}	7 or more persons may be served in the facility Per section 7-9-95 and 7-9-134/135

TABLE 7-9-32.2: LAND USE REGULATIONS—MULTIFAMILY RESIDENTIAL DISTRICTS				
	R2	R3	R4	Additional Regulations
Sober Living Home - Small	P/UP ^{2,3}	P/UP ^{2,3}	P/UP ^{2,3}	No more than 6 persons shall be served in the facility Per section 7-9-95 and 7-9-134/135
Supportive Housing	P	P	P	Per section 7-9-134/135
Transitional Housing	P	P	P	Per section 7-9-134/135
COMMERCIAL				
Boarding House	-	P/SDP ⁷	-	Per section 7-9-135
Farmers' Market	UP	UP	UP	Per section 7-9-101
Hotels	-	UP	-	Per section 7-9-134.4
PUBLIC/SEMI-PUBLIC				
Child Care Center/Early Education Facility	UP ⁶	UP ⁶	UP ⁶	Per section 7-9-95
Community Assembly Facilities	UP	UP	UP	Shall be limited to churches, temples, and other places of worship Per section 7-9-134
Community Garden	SDP	SDP	SDP	Per section 7-9-100
Cultural Institutions and Facilities	SDP	SDP	SDP	Shall be limited to public libraries and museums Per section 7-9-134
Educational Institutions	UP	UP	UP	Per section 7-9-134
Police and Fire Stations	SDP ⁷	SDP ⁷	SDP ⁷	Per section 7-9-134
Park and Recreation Facilities (Non-Commercial)	P	P	P	Shall be limited to parks, playgrounds, and athletic fields Per section 7-9-134
TRANSPORTATION, COMMUNICATION, AND UTILITIES				

TABLE 7-9-32.2: LAND USE REGULATIONS—MULTIFAMILY RESIDENTIAL DISTRICTS				
	R2	R3	R4	Additional Regulations
Antenna and Transmission Towers	UP	UP	UP	Shall be limited to wireless communications facilities Per section 7-9-109
Utilities, Major	SDP	SDP	SDP	Shall be limited to public/private utility uses, buildings, and structures Per section 7-9-134
ANY OTHER USE				
All other uses shall be prohibited unless a Use Permit by the Planning Commission is obtained	UP	UP	UP	Required finding: The proposed use is consistent with the purpose and intent of this district. Per section 7-9-126.1
TEMPORARY				
Continued use of an existing permitted building during construction of a new building	-	-	-	Per section 7-9-117
Mobilehome residence during construction of a dwelling	-	-	-	Per section 7-9-117
Model Homes and Real Estate Offices	-	-	-	Per section 7-9-117
Seasonal Product and Temporary Outdoor Sales	P	P	P	Per section 7-9-117

ACCESSORY Accessory uses and structures are permitted when associated and subordinate to a permitted principal use on the same building site				
Accessory uses the Director finds consistent with the purpose and intent of this district.	P	P	P	Per section 7-9-116
Accessory building(s) not usable as a guesthouse or accessory dwelling unit	P	P	P	Per section 7-9-116
Fences, Walls, and Hedges	P	P	P	Per section 7-9-64
Home Occupations	P	P	P	Per section 7-9-104
Satellite Dish Antenna	p ⁸	p ⁸	p ⁸	Per section 7-9- 30-34
Swimming Pools and Spas	P	P	P	Per section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3
Notes: <ol style="list-style-type: none"> 1. Facilities serving seven (7) or more persons, and senior living facilities, shall be subject to the approval of a Use Permit to the Planning Commission. 2. There shall be one thousand (1,000) feet of separation (as measured from property lines) between any two (2) Alcoholism or Drug Abuse Recovery/Treatment facilities of seven (7) or over that require a UP, or between any two (2) Sober Living Homes, or between any Alcoholism or Drug Abuse Recovery/Treatment facility and Sober Living Home, as defined. 3. Group Homes, including Sober Living Homes, shall obtain a ministerial "Group Home Permit." 4. Multifamily projects of four (4) or fewer dwelling units are permitted. Multifamily projects of five (5) or more dwelling units are permitted subject to a Site Development Permit. Residential condominium, stock cooperative, and community apartment projects are permitted subject to a Use Permit. 5. Short-term Rentals shall obtain a ministerial "Short-term Rental Permit" per section 7-9-93. 6. Facilities serving more than fourteen (14) persons may be permitted, subject to approval of a Use Permit by the Planning Commission. 7. Boarding houses serving six (6) people or fewer are permitted. Boarding houses serving more than six (6) people are permitted subject to a Site Development Permit. Fraternity or sorority houses are subject to a Site Development Permit. 8. Satellite dish antennas shall be one (1) meter or less in diameter. 9. Residential development shall comply with the minimum density of thirty (30) dwelling units per acre. 10. Affordable Housing development subject to an Affordable Housing Permit per section 7-9-124.3 				

SECTION 7. Section 7-9-32.3 is hereby amended as follows:

Sec. 7-9-32. - Multifamily Residential Districts.

Sec. 7-9-32.3. - Site Development Standards.

This section, including Table 7-9-32.3, and section 7-9-32.4, "Supplemental regulations," specify the site development standards for Multifamily Residential Districts.

- (a) Access to units.
 - (1) Each residential unit shall have one (1) front door. A front door shall be defined as the primary doorway that visitors and guests are directed to enter the residential unit from a publicly accessible exterior area (e.g., parking lot, sidewalk, driveway, etc.).
 - (2) Doorways providing direct access from a publicly accessible exterior area into a residential unit shall only be allowed in common living areas subject to the following exceptions:
 - a. One (1) doorway into one (1) bedroom for each residential unit.
 - b. Doorways into a garage.
 - c. Doorways into areas with no internal access to the residential unit (e.g., storage closets).
 - d. Doorways required by other local governmental agencies (e.g., Orange County Fire Authority, Orange County Health Care Agency, etc.).
 - (3) If a stairwell is separated by an interior doorway or other partially framed-in opening from other common living areas there shall be no direct exterior access into the stairwell area.
 - (4) A maximum of one (1) kitchen for each residential unit shall be permitted.
 - (5) The floor plan shall not be designed in a way that would allow splitting into two (2) or more separate residential units with simple or minor changes as determined by the Director.
 - (6) Multifamily residential projects with two (2) or more units shall provide a minimum of one hundred fifty (150) square feet of exterior open space per dwelling unit of which a minimum of one hundred (100) square feet shall be private and accessible directly from the residential unit. The balance of open space shall be provided on-site as common open space area.
- (b) In Table 7-9-32.3, additional regulations are denoted with section numbers in the right-hand column, which refer to other related sections of this Zoning Code.

TABLE: 7-9-32.3: SITE DEVELOPMENT STANDARDS— MULTIFAMILY RESIDENTIAL DISTRICTS				
Standard	R2	R3	R4	Additional Standards
BUILDING HEIGHT AND SITE REQUIREMENTS				
Maximum Building Height (ft)	35	65	35	An accessory structure within required setback area shall be limited to 12 ft. in height; if within 3 ft. of the property line, it shall be limited to 8 ft. in height Except for section 7-9- 61.2 Except for section 7-9-124.3
Maximum Building Site Coverage (% of lot)	NA	NA	NA	Per section 7-9-135
Minimum Density (du/ac)	30	30	30	Minimum required density of project net development area
Maximum Density (Minimum Net Land Area Per Unit) (sq ft)	1,000	1,000	1,000	Except for section 7-9-61.2
Minimum Building Site Area (sq ft)	5,000	5,000	5,000	Except for section 7-9-61.2
MINIMUM BUILDING SETBACKS (FT)				
Front Setback From Ultimate Street R/W Line	20	20	20	Per section 7-9-61.9 Except for section 7-9-124.3
Side Setback From Ultimate Street R/W Line	5	B	5	Per section 7-9-61.9 Except for section 7-9-124.3
Rear Setback From Ultimate Street R/W Line	25	25	25	Per section 7-9-61.9 Except for section 7-9-124.3
Side Setback From Property Line Not Abutting Street Rear	5	B	5	Per section 7-9-61.9 Except for section 7-9-124.3
Rear Setback From Property Line Not Abutting Street	25 or D	25 or D	25 or D	Per section 7-9-61.9 Except for section 7-9-124.3
On Panhandle Building Site from Any Property Line	10	10	10	Per section 7-9-61.9 Except for section 7-9-124.3

TABLE: 7-9-32.3: SITE DEVELOPMENT STANDARDS—				
MULTIFAMILY RESIDENTIAL DISTRICTS				
Standard	R2	R3	R4	Additional Standards
Minimum Distance Between Principal Structures (ft)	10	15	15	Per section 7-9-61.9
OTHER				
Elevated Driveway	P	P	P	Per section 7-9-65
Fences, Walls, and Hedges	SDP (Over 3 ½ feet in height)	P	P	Per section 7-9-64
Grading and Excavation Over 10,000 Cubic Yards	SDP	SDP	SDP	Per section 7-9-66
Swimming Pools and Spas	Swimming pools shall not be constructed within three (3) feet of an ultimate vehicular right-of-way or property line or within those areas described by section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3			Per section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3
Notes:				
R/W: Right-of-Way				
A. Ten (10) percent of average ultimate net width of building site—Maximum twenty (20) feet.				
B. Five (5) feet; add one (1) foot for each additional story over two (2).				
C. Ten (10) feet one (1) side only or ten (10) feet total of two (2) sides combined.				
D. In computing the depth or a rear setback from any building where such setback opens on alley, private street, public park, or public beach, one-half (0.5) of the width of such alley, street, park, or beach may be deemed to be a portion of the rear setback, except that under this provision, no rear setback shall be less than fifteen (15) feet.				
E. If no openings, such as windows, doors, and circulation vents, exist on the side of the building facing the property line, this setback may be reduced to fifteen (15) feet.				

SECTION 8. Section 7-9-33.1 is hereby amended as follows:

Sec. 7-9-33. - Commercial Districts.

Sec. 7-9-33.1. Purpose and Intent.

The purpose of the Commercial Districts is to accommodate a range of retail, office and community uses and services to serve surrounding neighborhoods, the larger community, and the region

and are sited at appropriate locations and compatible with surrounding development. Commercial development and other non-residential uses and services shall be sited at locations accessible to all transportation modes where a safe means of travel can be provided to users along the right-of-way. Residential rental projects that are one hundred percent (100%) affordable and emergency shelters, multi-service centers, and low-barrier navigation centers that provide services for persons experiencing homelessness, are also permitted in Commercial Districts, pursuant to section 7-9-44, "Housing Opportunities" Overlay District.

- (a) The C1 "Local Business" District is established to provide for the development and maintenance of medium-intensity commercial uses serving the needs of both the surrounding neighborhood and the local community. All commercial uses and their related products in the C1 districts shall be contained entirely within a completely enclosed structure, except for parking and loading areas, and except for outdoor uses expressly permitted by an approved Site Development Permit or Use Permit.
- (b) The C2 "General Business" District is established to provide for the development and maintenance of high-intensity commercial uses which serve the local community but which may not be compatible with surrounding residential uses or certain commercial uses.
- (c) The CN "Commercial Neighborhood" District is established to provide for the development and maintenance of low-intensity commercial uses which serve the immediate needs of the surrounding neighborhood. Such uses are to be grouped in small areas of three (3) to eight (8) acres and designed so that adverse impacts on residential properties are minimized. Business hours in the CN District shall be limited to the hours between 6:00 a.m. and 10:30 p.m. unless otherwise provided for by a Use Permit approved by the Zoning Administrator. All commercial uses and their related products in the CN district shall be contained entirely within a completely enclosed structure, except for parking and loading areas and except for outdoor uses expressly permitted by an approved Site Development Permit or Use Permit.

SECTION 9. Section 7-9-33.2 is hereby amended as follows:

Sec. 7-9-33.2. - Land Use Regulations.

Table 7-9-33.2 and section 7-9-33.4, "Supplemental regulations," prescribe the land use regulations for Commercial Districts. The regulations for each district are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

- (a) "P" designates principal permitted uses.
- (b) "SDP" designates uses that are principal permitted uses subject to the approval of a Site Development Permit.
- (c) "UP" designates uses that are principal permitted uses subject to the approval of a Use Permit.
- (d) "#" indicates the use classification shall comply with specific limitations listed at the end of the table.
- (e) "—" designates uses that are not permitted.

(f) “NA” designates development standards that are not applicable.

Land use classifications and definitions are in sections 7-9-134 and 7-9-135. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and sub-classifications not listed in the table or not found to be substantially similar to the uses below shall be prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other related sections of this Zoning Code

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
RESIDENTIAL				
Congregate Living Health Facility	UP	UP	-	Per section 7-9-134/135
Multifamily Dwelling – Affordable Only	P	P	P	Per section 7-9-124.3
Short-Term Rentals	p ¹	p ¹	p ¹	Applicable if located within a continuing permitted residential use Per section 7-9-93
COMMERCIAL				
Administrative and Professional Offices	SDP	SDP	SDP	Except as exempted per sec. 7-9-126.3. Includes business, professional, technology, medical/dental, wholesale business office, and offices with walk-in clientele.
Animal Clinics	SDP	SDP	SDP	Per section 7-9-106
Animal Hospitals (Livestock)	-	SDP	-	Per section 7-9-106
Automobile Service and Gas Stations	UP	UP	UP	Per section 7-9-50
Automobile/Vehicle Sales and Rentals	SDP	SDP	-	Shall be limited to automobiles/vehicles, trailers, vessels,

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
				trucks, and motorcycles Per section 7-9-134
Automobile/Vehicle Service and Repair, Major	-	UP	-	Per section 7-9-134.4
Automobile/Vehicle Service and Repair, Minor	SDP	SDP	-	Per section 7-9-134.4
Automobile/Vehicle Washing and Services	UP	SDP	-	Per section 7-9-134.4
Banks and Financial Institutions	SDP	SDP	SDP	Per section 7-9-134.4
Breweries	SDP	SDP	-	Per section 7-9-135
Commercial Recreation	SDP	SDP	-	Per section 7-9-134
Distilleries	SDP	SDP	-	Per section 7-9-135
Farmers' Market	UP	UP	UP	Per section 7-9-101
Fitness Center	SDP	SDP	SDP	Per section 7-9-134
Funeral Parlors and Interment Services	UP	UP	-	Shall be limited to mortuaries and crematories Per section 7-9-134
Retail Sales and Personal Services Businesses (Includes convenience retail)	SDP	SDP	SDP	Except as exempted per section 7-9-126.3 Per section 7-9-134
Hotels and Motels	SDP	SDP	-	Per section 7-9-135
Single-Room Occupancy (SRO)	UP	UP	-	Per section 7-9-88

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
Recycling, Transfer, and Materials Recovery Facility	-	UP	-	Per section 7-9-119
Restaurants	SDP	SDP	SDP	Full service, limited service, drive-thru, and take-out Per section 7-9-134
Wholesale Businesses	-	SDP		Per section 7-9-134.5
Wineries	SDP	SDP	SDP	Per section 7-9-135
INDUSTRIAL				
Automobile Salvage and Wrecking	-	UP	-	Per section 7-9-50
Construction and Material Yards	-	UP	-	Shall be limited to storage yards, work, and fabricating areas Per section 7-9-134.5
General Manufacturing	-	UP	-	Shall be limited to bottling plants, metal plating, tire retreading, and welding shops Per section 7-9-134
Heavy Vehicle and Large Equipment Sales and Rental	-	-	-	Shall be limited to agricultural, industrial, and construction equipment Per section 7-9-134.5
Limited Industrial	-	UP	-	Shall be limited to cleaning, dyeing, and laundry plants Per section 7-9-134.5
Mini-storage Facility	UP	UP	UP	Per section 7-9-135
Vehicle Storage	-	UP	-	Per section 7-9-134

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
Warehouse Storage and Distribution	UP	UP	-	Per section 7-9-134
PUBLIC/SEMI-PUBLIC				
Automobile Parking Lots and Structures	SDP	SDP	SDP	Per section 7-9-70
Child Care Center/Early Education Facility	SDP ²	-	-	Per section 7-9-95
Community Assembly Facilities	SDP	-	SDP	Shall be limited to churches, temples, and other places of worship Per section 7-9-134
Community Garden	P	SDP	SDP	Per section 7-9-100
Convalescent Care Facility	UP	-	-	Per section 7-9-134/135
Cultural Institutions and Facilities	SDP	SDP	SDP	Shall be limited to public libraries and museums Per section 7-9-134
Government Buildings	SDP	SDP	SDP	Per section 7-9-134
Health Care Facilities	UP	-	-	Shall be limited to hospitals Per section 7-9-134/135
TRANSPORTATION, COMMUNICATION, AND UTILITIES				
Antenna and Transmission Towers	SDP/ UP ³	SDP/ UP ³	SDP/ UP ³	Shall be limited to wireless communications facilities Per section 7-9-109
Bus/Rail/Taxi Passenger Station	-	-	-	Per section 134.6

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
Heliports	UP	UP	-	Per section 7-9-134
Utilities, Major	SDP	SDP	SDP	Shall be limited to public/private utility uses, buildings, and structures Per section 7-9-134
ANY OTHER USE				
All other uses shall be prohibited unless a Use Permit by the Planning Commission is obtained	UP	UP	UP	Required finding: The proposed use is consistent with the purpose and intent of this district. Per section 7-9-126.1
TEMPORARY				
Commercial coaches	P	P	P	Per section 7-9-117
Seasonal Product and Temporary Outdoor Sales	P	P	P	Per section 7-9-117
ACCESSORY Accessory uses and structures are permitted when associated and subordinate to a permitted principal use on the same building site				
Accessory uses the Director finds consistent with the purpose and intent of this district.	P	P	P	Per section 7-9-116
Accessory building(s) not usable as a guesthouse or accessory dwelling unit	P	P	P	Per section 7-9-116
Satellite Dish Antenna	p ⁴	p ⁴	p ⁴	Per section 7-9-30-34
Notes:				
1. Short-term Rentals shall obtain a ministerial “Short-term Rental Permit” per section 7-9-93.				

TABLE 7-9-33.2: LAND USE REGULATIONS—COMMERCIAL DISTRICTS				
	C1	C2	CN	Additional Regulations
2.	Facilities serving more than fourteen (14) persons may be permitted, subject to approval of a Use Permit by the Planning Commission.			
3.	Fire and police stations shall be the only government buildings permitted.			
4.	Wireless communication facilities are permitted subject to a Site Development Permit or Use Permit, depending on their distance from a residential or open space district. See section 7-9-109.			
5.	Satellite dish antennas shall be two (2) meters or less in diameter.			

SECTION 10. Section 7-9-33.3 is hereby amended as follows:

Sec. 7-9-33. - Commercial Districts.

Sec. 7-9-33.3. Site Development Standards.

Table 7-9-33.3 and section 7-9-33.4, “Supplemental regulations,” prescribe the development standards for Commercial Districts. Additional regulations are denoted with section numbers in the right-hand column, which refer to other related sections of this Code.

TABLE 7-9-33.3: SITE DEVELOPMENT STANDARDS—COMMERCIAL DISTRICTS				
Standard	C1	C2	CN	Additional Standards
BUILDING HEIGHT AND SITE REQUIREMENTS				
Maximum Building Height (ft)	35	35	35	Accessory structure within required setback area shall be limited to 12 ft. in height; if within 3 ft. of the property line, shall be limited to 8 ft. in height Per section 7-9-61.1.
Maximum Building Site Coverage (% of lot)	NA	NA	35	Per section 7-9-61.9
MINIMUM BUILDING SETBACKS (FT)				
Front Setback From Ultimate Street R/W Line	0	0	20	Per section 7-9-61.9
Side Setback From Ultimate Street R/W Line	0	0	20	Per section 7-9-61.9
Rear Setback From Ultimate Street R/W Line	0	0	20	Per section 7-9-61.9

TABLE 7-9-33.3: SITE DEVELOPMENT STANDARDS—COMMERCIAL DISTRICTS

Standard	C1	C2	CN	Additional Standards
Front Setback From Alley	0	0	20	Per section 7-9-61.9
Side Setback From Alley	0	0	20	Per section 7-9-61.9
Rear Setback From Alley	5	5	20	Per section 7-9-61.9
Side Setback From Property Line Abutting A, R, or E Districts	0	0	20	Per section 7-9-61.9
Rear Setback From Property Line Abutting A, R, or E Districts	10	10	20	Per section 7-9-61.9
Side Setback From Property Line Abutting Districts Other Than A, R, or E Districts	0	0	0	Per section 7-9-61.9
Rear Setback From Property Line Abutting Districts Other Than A, R, or E Districts	10	10	0	Per section 7-9-61.9
OTHER				
Elevated Driveway	P	P	P	Per section 7-9-65
Fences, Walls, and Hedges	P	P	P	Per section 7-9-64
Swimming Pools and Spas	Swimming pools shall not be constructed within three (3) feet of an ultimate vehicular right-of-way or property line or within those areas described by section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3			Per section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3
Notes: R/W: Right-of-Way A Districts: Agricultural Districts E Districts: Estates Districts R Districts: Residential Districts				

SECTION 11. Section 7-9-33.4 is hereby amended as follows:

Sec. 7-9-33. - Commercial Districts.

Sec. 7-9-33.4. Supplemental regulations.

- (a) Business Hours:
 - (1) For CN: Business hours shall be limited to the hours between 6:00 a.m. and 10:00 p.m. unless otherwise provided for by a Use Permit approved by the Zoning Administrator.
- (b) Enclosed Uses:
 - (1) For CN: All commercial uses and their related products shall be contained entirely within a completely enclosed structure, except for parking and loading areas and except for outdoor uses expressly permitted by an approved Site Development Permit or Use Permit.
- (c) Landscape and irrigation: Per section 7-9-68.
 - (1) For CN: Landscaping per section 7-9-71.2.
- (d) Lighting and illumination: Per section 7-9-67.
- (e) Off-street parking and loading: Per section 7-9--70.
 - (1) For CN: All loading operations shall be performed on-site and loading areas shall be screened by a landscape or architectural feature.
- (f) Nonconforming uses and structures: Per section 7-9-115.
- (g) Planned (unit) developments: Per section 7-9-48.
- (h) Screening and landscaping: Per section 7-9-71.
- (i) Signs: Per section 7-9-114.
 - (1) For CN: *Wall Signs*. There shall be no more than one (1) such sign per public entrance for each use.
 - (2) For CN: *Freestanding signs*. Not more than one (1) freestanding sign shall be permitted on each site.
- (j) Temporary uses and structures: Per Section 7-9-117.
- (k) Vehicular Access Regulations: Street openings in the C1 and C2 Districts shall be a minimum of twenty-two (22) feet apart and twenty-two (22) feet from any existing street openings, measured at the ultimate street right-of-way line; however, every building site shall be permitted to have at least one (1) street opening.
- (l) Waste management and hazardous materials: Per section 7-9-118.
- (m) In addition, all storage of cartons, containers, and trash in the C1, C2, and CN Districts shall be enclosed by a wall not less than six (6) feet in height. If unroofed, no such area shall be located within forty (40) feet of any district zoned for residential or agricultural uses.

SECTION 12. Section 7-9-34.1 is hereby amended as follows:

Sec. 7-9-34. - Employment Districts.

Sec. 7-9-34.1. - Purpose and Intent.

The Employment Districts are areas intended for use by employment generators, which are usually light and service industries or professional-administrative uses that have few nuisance or hazard

problems. The uses shall be compatible with one another and with surrounding development. Locations shall be transit accessible and provide opportunities for transportation demand management measures to reduce the potential for congestion and facilitate access to transit. Sites shall be designed to promote safe and comfortable travel by pedestrians, bicyclists, and public transportation riders.

- (a) The M1 “Light Industrial” District is established to provide for the development and maintenance of light industrial uses and industry-supporting activities. Industry-supporting activities are those activities which tend to promote the vitality of light industrial areas by providing a convenient location for services incidental to the conduct of business of the permitted uses, thus internalizing vehicle trips for such services. Industry-supporting activities are typically those which naturally locate in an industrial area because the principal part of their business activity is derived from such areas. It is intended that these regulations promote the effective operation of light industrial uses by site design and by excluding incompatible uses. It is also intended that potentially significant adverse environmental impacts on the surrounding community be prevented. In those areas of the district where a wide mix of older general retail commercial uses have been established, a secondary intent shall be to support appropriate new uses of high quality over simple consistency with these older, established uses. Residential rental projects that are one hundred percent (100%) affordable and emergency shelters, multi-service centers, and low-barrier navigation centers that provide services for persons experiencing homelessness, are also permitted in the M1 “Light Industrial” District, pursuant to section 7-9-44, “Housing Opportunities” Overlay District.

SECTION 13. Section 7-9-34.2 is hereby amended as follows:

Sec. 7-9-34. - Employment Districts.

Sec. 7-9-34.2 - Land Use Regulations.

Table 7-9-34.2 and section 7-9-34.4, “Supplemental regulations,” prescribe the land use regulations for the Employment District. The regulations for the district are established by letter designations listed below. These designations apply strictly to the permissibility of land uses; applications for buildings or structures may require discretionary review.

- (a) “P” designates principal permitted uses.
- (b) “SDP” designates uses that are principal permitted uses subject to the approval of a Site Development Permit.
- (c) “UP” designates uses that are principal permitted uses subject to the approval of a Use Permit.
- (d) “#” indicates the use classification shall comply with specific limitations listed at the end of the table.
- (e) “—” designates uses that are not permitted.
- (f) “NA” designates development standards that are not applicable.

Land use classifications and definitions are in sections 7-9-134 and 7-9-135. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and sub-classifications not listed in the table

or not found to be substantially similar to the uses below shall be prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other related sections of this Zoning Code.

In the Employment Districts, the following uses are prohibited:

- (a) Mining or processing of cement, sand, gravel, clays, and other minerals or earth products.

TABLE 7-9-34.2: LAND USE REGULATIONS—EMPLOYMENT DISTRICTS		
	M1	Additional Regulations
RESIDENTIAL		
Multifamily Dwelling	-	Shall have no more than four (4) dwelling units
Multifamily Dwelling – Affordable Only	P	Per section 7-9-124.3
Single-Room Occupancy (SRO)	-	Per section 7-9-88
COMMERCIAL		
Administrative and Professional Offices	SDP	Shall be limited to business, professional, technology, medical/dental, and offices with walk-in clientele. Per section 7-9-135
Automobile/Truck Rental Agencies	SDP	Per section 7-9-134
Automobile/Vehicle Sales and Services	UP	Per section 7-9-134.4
Automobile/Vehicle Service and Repair, Major	UP	Per section 7-9-134.4
Automobile/Vehicle Service and Repair, Minor	UP	Per section 7-9-134.4
Banks and Financial Institutions	SDP	Shall be limited to credit unions and commercial credit institutions Per section 7-9-134.4
Building and Industrial Materials Storage	UP	Per section 7-9-134.5
Eating and Drinking Establishments	SDP	Shall be limited to: Restaurant (Full service), Restaurant (Limited Service and Take-Out/Take Out Only), Bars, and Lounges Per section 7-9-134/135
Fitness Centers	SDP	Per section 7-9-134
Freight terminals and transfer stations	UP	Per section 7-9-134

TABLE 7-9-34.2: LAND USE REGULATIONS—EMPLOYMENT DISTRICTS		
	M1	Additional Regulations
General Personal Services	SDP	Shall be limited to barber and beauty shops, florists without arrangement displays, photoengraving, printing, and bookbinding Per section 7-9-134
Hotel and Motels	UP	Per section 7-9-135
Mail-Order Businesses	SDP	Per section 7-9-135
Manufacturing and/or Assembly of Component or Finished Products	SDP	Per section 7-9-134.5
Metal Plating Businesses	UP	Per section 7-9-135
Other industry-supporting commercial activities the Director finds consistent with the purpose and intent of this district.	UP	
Other types of professional and administrative offices the Director finds consistent with the purpose and intent of this district.	UP	
Recycling businesses for beverage and food containers and paper products	SDP	Per section 7-9-134.5/135
Recycling, Transfer, and Materials Recovery Facility	UP	Per section 7-9-119
Rental, repair, and storage yards for construction, farming, and industrial vehicles/equipment	UP	Per section 7-9-134.5
Wholesale Businesses	SDP	Per section 7-9-134.4
INDUSTRIAL		
Automobile Salvage and Wrecking	UP	Per section 7-9-134.5
Media Production Facility	SDP	Shall be limited to motion picture and recording studios; radio or television stations Per section 7-9-134.5
Mini-Storage Facilities or Warehouses	SDP	Per section 7-9-135
PUBLIC/SEMI-PUBLIC		
Automobile parking lots and structures	SDP	Per section 7-9-70

TABLE 7-9-34.2: LAND USE REGULATIONS—EMPLOYMENT DISTRICTS		
	M1	Additional Regulations
Community Assembly Facilities	-	Shall be limited to churches, temples, and other places of worship Per section 7-9-134
Cultural Institutions and Facilities	-	Shall be limited to public libraries and museums Per section 7-9-134
Educational Institutions Serving Adults	SDP (Vocational schools only)	Per section 7-9-134
Government Buildings	SDP ²	Per section 7-9-134
Medical Clinic	SDP	Shall be limited to emergency health service facilities Per section 7-9-134/135
TRANSPORTATION, COMMUNICATION, AND UTILITIES		
Antenna and Transmission Towers	SDP/UP ³	Shall be limited to wireless communications facilities. Per section 7-9-109
Heliports	UP	Per section 134.6
Utilities, Major	SDP	Shall be limited to public/private utility buildings and structures
Utilities, Minor	SDP	Shall be limited to overhead or underground utility facilities Per section 7-9-134
ANY OTHER USE		
All other uses shall be prohibited unless a Use Permit by the Planning Commission is obtained	UP	Required finding: The proposed use is consistent with the purpose and intent of this district. Per section 7-9-126.1
TEMPORARY		
Commercial Coaches	-	Per section 7-9-61.9
Construction Offices	P	Per section 7-9-61.9
Seasonal Product and Temporary Outdoor Sales	-	Per section 7-9-61.9

TABLE 7-9-34.2: LAND USE REGULATIONS—EMPLOYMENT DISTRICTS		
	M1	Additional Regulations
ACCESSORY Accessory uses and structures are permitted when associated and subordinate to a permitted principal use on the same building site		
Accessory building(s) and structures not usable as a guesthouse or accessory dwelling unit	P	Per section 7-9- 116
Accessory uses the Director finds consistent with the purpose and intent of this district.	P	Per section 7-9--116
Caretaker Housing	P	Per section 7-9-135
Fences, Walls, and Hedges	P	Per section 7-9-64
Satellite Dish Antenna	P ⁴	Per section 7-9-30-34
Notes: 1. Facilities serving more than fourteen (14) persons permitted subject to approval of a Use Permit by the Planning Commission. 2. Fire and police stations shall be the only government buildings permitted. 3. Wireless communication facilities permitted subject to a Site Development Permit or Use Permit, depending on their distance from a residential or open space district. See section 7-9-109. 4. Satellite dish antennas shall be two (2) meters or less in diameter.		

SECTION 14. Section 7-9-34.3 is hereby amended as follows:

Sec. 7-9-34. - Employment Districts.

Sec. 7-9-34.3. - Site Development Standards

Table 7-9-34.3 and section 7-9-34.4, “Supplemental regulations,” prescribe the development standards for the Employment District. Additional regulations are denoted with section numbers in the right-hand column, which refer to other related sections of this Zoning Code.

TABLE 7-9-34.3: SITE DEVELOPMENT STANDARDS—EMPLOYMENT DISTRICTS.		
Standard	M1	Additional Standards
BUILDING HEIGHT AND SITE REQUIREMENTS		
Maximum Building Height (ft)	35	Except for section 7-9-61.2
Maximum Building Site Coverage (% of lot)	NA	Per section 7-9-135

TABLE 7-9-34.3: SITE DEVELOPMENT STANDARDS—EMPLOYMENT DISTRICTS.		
Standard	M1	Additional Standards
Minimum Building Site Area (sq ft)	10,000	Except for section 7-9-61.2
Minimum Building Site Width (ft)	NA	Except for section 7-9-61.2
Maximum Density (Minimum Net Land Area Per Unit) (sq ft)	NA	Except for section 7-9-61.2
MINIMUM BUILDING SETBACKS (FT)		
Front Setback From Ultimate Street R/W Line	20	Per section 7-9-61.9
Side Setback From Ultimate Street R/W Line	20	Per section 7-9-61.9
Rear Setback From Ultimate Street R/W Line	20	Per section 7-9-61.9
Front Setback From Alley	20	Per section 7-9-61.9
Side Setback From Alley	10	Per section 7-9-61.9
Rear Setback From Alley	10	Per section 7-9-61.9
Side Setback From Property Line Abutting A, R, or E Districts	30 or E	Per section 7-9-61.9
Rear Setback From Property Line Abutting A, R, or E Districts	30 or E	Per section 7-9-61.9
Side Setback From Property Line Abutting Districts Other Than A, R, or E Districts	20*	Per section 7-9-61.9
Rear Setback From Property Line Abutting Districts Other Than A, R, or E Districts	10	Per section 7-9-61.9
OTHER		
Elevated Driveway	P	Per section 7-9-65
Fences, Walls, and Hedges	P	Per section 7-9-64

Swimming Pools and Spas	Swimming pools shall not be constructed within three (3) feet of an ultimate vehicular right-of-way or property line or within those areas described by section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3	Per section 7-9-116.2, 7-9-64(d) and (e), and Figure 7-9-64.3
<p>Notes:</p> <p>R/W: Right-of-Way</p> <p>A Districts: Agricultural Districts</p> <p>E Districts: Estates Districts</p> <p>R Districts: Residential Districts</p> <p>* Required for one (1) side of building site only.</p> <p>A. Ten (10) percent of average ultimate net width of building site—Maximum twenty (20) feet.</p> <p>B. Five (5) feet; add one (1) foot for each additional story over two (2).</p> <p>C. Ten (10) feet one (1) side only or ten (10) feet total of two (2) sides combined.</p> <p>D. In computing the depth or a rear setback from any building where such setback opens on alley, private street, public park, or public beach, one-half (0.5) of the width of such alley, street, park, or beach may be deemed to be a portion of the rear setback, except that under this provision, no rear setback shall be less than fifteen (15) feet.</p> <p>E. If no openings, such as windows, doors, and circulation vents, exist on the side of the building facing the property line, this setback may be reduced to fifteen (15) feet.</p>		

SECTION 15. Section 7-9-36 is hereby amended as follows:

Sec. 7-9-36. - MX “Mixed-Use” District.

All references to this section shall include sections 7-9-36.1 through 7-9-36.6.

Sec. 7-9-36.1. - Purpose and intent.

The purpose of the “Mixed-Use” District (MX) regulations is to facilitate the vertical and horizontal mixing of retail, office, and multifamily residential uses and the development of mixed-use buildings accommodating both high-density residential and employment activities. In both infill contexts and in larger projects, these regulations shall facilitate the inclusion of cultural, civic, educational, and urban recreational uses and support transit-oriented development and alternative modes of transportation.

Sec. 7-9-36.2. Uses Permitted.

- (a) All mixed-use projects containing market-rate multifamily residential units and commercial space, shall be subject to a Use Permit acted on by the Planning Commission.
- (b) Projects that contain only multifamily residential units shall be permitted subject to a Site Development Permit.
- (c) Residential condominium, stock cooperative, and community apartment projects are permitted subject to a Use Permit acted on by the Planning Commission.

- (d) Multifamily residential projects that reserve 100% of its units for lower income households, shall be subject to a ministerial Affordable Housing Permit as set forth in section 7-9-124.3.

Sec. 7-9-36.3. Additional land use regulations.

- (a) All mixed-use projects shall provide multifamily residential units on no less than fifty percent (50%) of the total floor area for the project.
- (b) Only dwelling units shall be allowed above the ground level in any mixed-use building.
- (c) No automobile/vehicle sales and services shall be allowed, including automobile/vehicle service and repair (major and minor), service and gas stations, and automobile/vehicle washing and services as part of the mixed-use project.
- (d) No wholesale trade, warehouse, storage, and distributions shall be allowed.

Sec. 7-9-36.4. Site development standards.

The following base district development standards and parking regulations may be modified if requested by the applicant as an incentive in the density bonus application process pursuant to section 7-9-87 and the Orange County Housing Opportunities Manual. Notwithstanding section 7-9-36., all fully residential projects shall be subject to the Land Use Regulations, Site Development Standards, and Supplemental Regulations set forth in section 7-9-32 and applicable to the R3 "Apartment" District. For mixed-use developments within Specific Plan areas and/or Planned Communities, the relevant Specific Plan or Planned Community development standards shall apply.

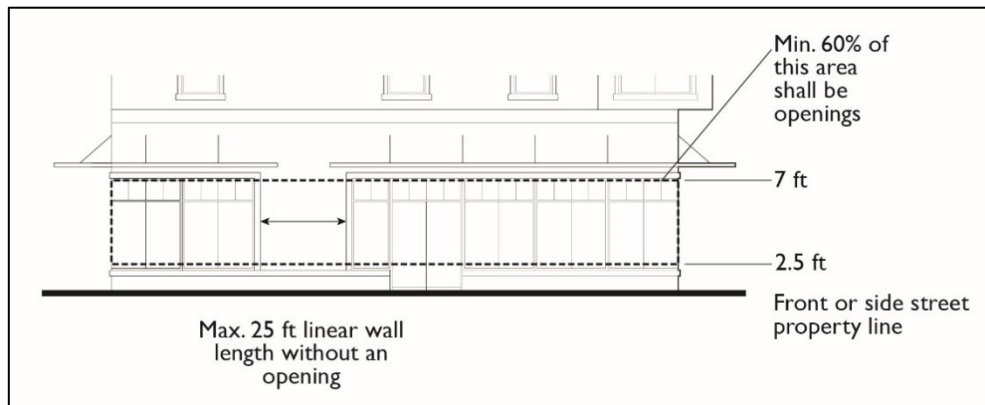
- (a) *Maximum building height.* Shall be sixty-five (65) feet. An increase in the maximum building height of up to twelve (12) feet may be approved as an incentive if the project is eligible for a density bonus pursuant to section 7-9-87.
- (b) *Building setbacks.* Shall be the minimum required setbacks pursuant to section 7-9-61.9.
- (c) *Minimum residential density.* The minimum residential density for a mixed-use, or fully residential project, shall be thirty (30) dwelling units per acre (net development area) with a minimum area of one thousand-four hundred (1,400) square feet per unit.
- (d) *Maximum residential density.* The maximum residential density for a mixed-use, or fully residential project, shall be forty-four (44) dwelling units per acre (net development area) with a minimum area of one thousand (1,000) square feet per unit. An increase in residential density may be achieved if the project is eligible for a density bonus pursuant to section 7-9-87.
- (e) *Minimum usable open space for residential uses.* One hundred fifty (150) square feet per dwelling unit of which one hundred (100) square feet shall be private and accessible from the dwelling unit. The balance may be provided by common area open space.
- (f) *Off-street parking for mixed-use projects.* The number of parking spaces required for both commercial and residential uses shall be consistent with Government Code 65863.2. If the development is located farther than one-half (½) mile from public transit, the following parking requirements shall apply. The number of parking spaces required for residential uses shall be added to the number of parking spaces required for non-residential uses to determine the total number of parking spaces required for the project.

- (1) Off-street parking requirements for market-rate residential units.
 - A. Zero to one-bedroom dwelling units. One off-street parking space for each dwelling unit.
 - b. Two-bedroom dwelling units. One and a half (1.5) off-street parking spaces for each dwelling unit.
 - c. Three (3) or more bedroom dwelling units. Two (2) off-street parking spaces for each dwelling unit, plus one-half (0.5) off-street parking space for each bedroom in excess of three (3).
 - d. Required spaces shall be off-street and located within two hundred (200) feet walking distance along a pedestrian path (i.e., sidewalk, crosswalk, etc.) of the dwelling unit they serve.
 - e. For “wrap-around” multifamily, multi-story residential developments, where the units surround an interior parking structure, the required spaces shall be off-street and located within two hundred (200) feet of the elevator servicing the units.
 - f. Off-street guest parking for residential units is not required.
- (2) Off-street parking spaces required for affordable housing residential units shall be calculated using one of the following:
 - a. The parking requirements set forth in State Density Bonus Law or other applicable State law.
 - b. The County’s residential off-street parking requirements for affordable housing projects if one hundred percent (100%) of the units are affordable pursuant to section 7-9-70.
 - c. Required spaces shall be off-street and located within two hundred (200) feet walking distance along a pedestrian path (i.e., sidewalk, crosswalk, etc.) of the dwelling unit they serve.
 - d. For “wrap-around” multifamily, multi-story residential developments, where the units surround an interior parking structure, the required spaces shall be off-street and located within two hundred (200) feet of the elevator servicing the units.
 - e. Off-street guest parking for residential units is not required.
- (3) Off-street parking spaces required for non-residential uses shall be pursuant to section 7-9-70.
 - a. Ground level retail and restaurants. One (1) for each two hundred (200) square feet of gross floor area. Up to twenty percent (20%) of the gross floor area may be restaurant use.
 - b. Ground level office uses. One (1) for each one hundred fifty (150) square feet of gross floor area.

- (g) *Off-street parking for fully residential projects.* The number of parking spaces required shall be consistent with Government Code 65863.2. If the development is located farther than one-half (½) mile from public transit, the Off-Street Parking and Loading Regulations set forth in section 7-9-70 for multifamily residential uses shall apply. Sec. 7-9-36.5. Supplemental regulations.

Sec. 7-9-36.5. Supplemental Regulations.

- (a) *Street Frontage Improvements.* New mixed-use development shall provide street frontage improvements in accordance with the following.
 - (1) Between the Property Line and Curb.
 - a. *Sidewalks.* Sidewalks shall be provided if none exist or if the existing sidewalks are in poor condition.
 - b. *Street furniture.* Trash receptacles, benches, bike racks, and other street furniture shall be provided.
 - c. *Street lights.* Pedestrian-scaled street lights, including attachments from which banners may be hung, may be required.
 - d. *Street trees.* Shade trees shall be planted in compliance with applicable County standards.
 - (2) Interior from Property Line. Except where occupied by a building or necessary for parking access, the street frontage, for a depth of ten (10) feet from the property line, shall be utilized for pedestrian circulation or active outdoor uses, including, but not limited to outdoor dining; paved for public uses so that it functions as part of a wider public sidewalk; or improved with landscaping, public art, and/or pedestrian amenities, such as outdoor seating.
- (b) *Building Orientation and Entrances.*
 - (1) Buildings shall be oriented to face public streets.
 - (2) At least one (1) entrance shall be provided per one hundred (100) linear feet of building frontage unless the building has unique security needs.
 - (3) Entrances located at corners shall generally be located at a 45-degree angle to the corner and shall have a distinct architectural treatment to animate the intersection and facilitate pedestrian flow around the corner.
 - (4) Entrances to residential units shall be physically separated from the entrance to the permitted commercial uses and clearly marked with a physical feature incorporated into the building or an appropriately scaled element applied to the facade.
- (c) *Ground Level Openings for Non-Residential Uses.* Exterior walls facing and within twenty (20) feet of a front or street side building line shall include windows, glass doors, or other openings for at least sixty percent (60%) of the building wall area located between two and one-half (2.5) and seven (7) feet above the level of the sidewalk. No wall facing a street and within twenty (20) feet of a front or street side building line may run in a continuous plane for more than twenty-five (25) feet without a window or other opening.

FIGURE 7-9-36.5. REQUIRED OPENINGS FOR NON-RESIDENTIAL USES

- (1) Design of Required Openings. Openings fulfilling this requirement shall have transparent glazing and provide views into work areas, display areas, sales areas, lobbies, or similar active spaces, or into window displays that are at least three feet deep.
 - (2) Exceptions for Parking Garages. Multi-level garages are not required to meet the building transparency requirement of this subsection.
- (d) *Pedestrian Access.*
- (1) Internal Connections. On sites greater than two and one-half (2.5) acres in size, a system of pedestrian walkways shall connect all buildings on a site to each other, to on-site automobile and bicycle parking areas, and to any on-site open space areas or pedestrian amenities.
 - (2) To Circulation Network. Regular connections between on-site walkways and the public sidewalk and other planned or existing pedestrian routes and trails shall be provided. An on-site walkway shall connect the primary building entry or entries to a public sidewalk on each street frontage.
 - (3) To Neighbors. Direct and convenient access shall be provided from commercial and mixed-use projects to adjoining residential and commercial areas to the maximum extent feasible, while still providing for safety and security.
 - (4) Interior Pedestrian Walkway Design.
 - a. Walkways shall have a minimum clear, unobstructed width of six (6) feet, where feasible, and shall be hard-surfaced with concrete, stone, tile, brick, or comparable material.
 - b. Where a required walkway crosses driveways, parking areas, or loading areas, it shall be clearly identifiable through the use of a raised crosswalk, a different paving material, or similar method and shall meet ADA requirements.
 - c. Where a required walkway is parallel and adjacent to an auto travel lane, it shall be raised or separated from the auto travel lane by a raised curb at least four (4) inches high, bollards, or other physical barrier.

- (e) *Parking area design.* Parking lot design, including screening and landscaping, shall be per section 7-9-70.4(b) "Parking Area Design."

SECTION 16. Section 7-9-44.2 is hereby amended as follows:

Sec. 7-9-44. - H "Housing Opportunities" Overlay District.

Sec. 7-9-44.2.- Application.

- (a) These H overlay district regulations apply to residential rental projects and owner-occupied projects that are one hundred percent (100%) affordable and, emergency shelters, multi-service centers, and low-barrier navigation centers for persons experiencing homelessness that are located in one of the following base commercial or industrial zoning districts.
- (1) C1 "Local Business "District.
 - (2) C2 "General Business" District
 - (3) CN "Commercial Neighborhood" District.
 - (4) MX "Mixed-Use" District.
 - (5) M1 "Light Industrial" District.
- (b) The H overlay district regulations apply to residential rental projects that are one hundred percent (100%) affordable that are located on building sites without an existing multifamily residential use in one of the following multifamily zoning districts.
- (1) R2 "Multifamily Dwellings" District.
 - (2) R3 "Apartment" District.
 - (3) R4 "Suburban Multifamily Residential" District.
- (c) Residential rental projects and emergency shelters, and low-barrier navigations centers to which this section applies include the following.
- (1) Projects located on building sites and/or within structures without existing residential, commercial and/or industrial uses.
 - (2) Projects located on building sites and/or within structures that include residential, commercial and/or industrial uses.
 - (3) Projects wherein residential uses replace residential, commercial and/or industrial uses in a pre-existing structure.
- (d) In all cases, residential projects, emergency shelters, multi-service centers, and low-barrier navigation centers shall conform to all of the regulations in this section, including the site development standards.
- (e) Any commercial, and/or industrial uses shall satisfy the base district regulations.

SECTION 17. Section 7-9-44.3 is hereby amended as follows:

Sec. 7-9-44. - H “Housing Opportunities” Overlay District.**Sec. 7-9-44.3.- Site Development Permit.**

The residential projects, emergency shelters, multi-service centers, and low-barrier navigation centers for persons experiencing homelessness allowed herein shall be subject to the approval of a Site Development Permit unless otherwise stated. Residential projects that are one hundred percent (100%) affordable shall be approved through an Affordable Housing Permit pursuant to 7-9-124.3

SECTION 18. Section 7-9-44.5 is hereby amended as follows:

Sec. 7-9-44. - H “Housing Opportunities” Overlay District.**Sec. 7-9-44.5.- Accessory uses permitted.**

The following accessory uses and structures are permitted when associated with, and subordinate to, a permitted residential use on the same building site and when consistent with the approved Site Development Permit for the project and any other regulations in this Zoning Code that apply. Accessory uses ancillary to the primary permitted use shall not to exceed twenty five percent (25%) of total floor area of the permitted primary use.

- (a) Garages and carports.
- (b) Fences and walls.
- (c) Patio covers.
- (d) Swimming pools.
- (e) Signs per section 7-9-114 except no roof signs or projecting signs.
- (f) Noncommercial keeping of pets and animals.
- (g) Home occupations.
- (h) Manager's unit, which is exempt from affordability requirements.
- (i) Child day care center/early education facility per the Housing Opportunities Manual.
- (j) General administrative office permitted only if ancillary to the primary permitted use.
- (k) Accessory uses and structures that the Director finds are consistent with the design of the project and the purpose and intent of these overlay regulations.

SECTION 19. Section 7-9-51.8. is hereby amended as follows:

Sec. 7-9-51. – SR “Sign Restrictions” Combining District.**Sec. 7-9-51.8. Signs prohibited.**

The following signs are prohibited.

- (a) Off-site signs.
- (b) Roof and projecting signs.

- (c) Banner signs.
- (d) Electronic message center signs.
- (e) Portable signs.
- (f) Signs specifically prohibited by the base district.
- (g) Pole signs

SECTION 20. Section 7-9-61.9. is hereby amended as follows:

Sec. 7-9-61.- General Site Regulations.

Sec. 7-9-61.9. - Building line designation.

Where there is no building line or setback area designated on a precise plan of highway alignment or official zoning district map, where there is no applicable adopted building line plan and when the zoning district regulations and the zoning ordinance applicable to a building site do not specify a building line or a minimum setback distance, the building line for each building site shall be as specified by Table 7-9-61.9: Building Lines Chart and setback illustrations A, B, C, and D as follows:

TABLE 7-9-61.9 - BUILDING LINES CHART SETBACK DISTANCE IN FEET (Not Applicable to Accessory Buildings and Structures)										
COMMERCIAL, MIXED-USE, AND INDUSTRIAL DISTRICTS										
From Ultimate Street R/W Line				From Alley			From Property Line Abutting Agriculture (A), Estate (E) or Residential (R), Districts		From Property Line Abutting Districts Other Than A, R or E Districts	
District	Front	Side	Rear	Front	Side	Rear	Side	Rear	Side	Rear
CN	20	20	20	20	20	20	20	20	0	0
C1	0	0	0	0	0	5	0	10	0	10
C2	0	0	0	0	0	5	0	10	0	10
M1	20	20	20	20	10	10	30 or E	30 or E	20*	10

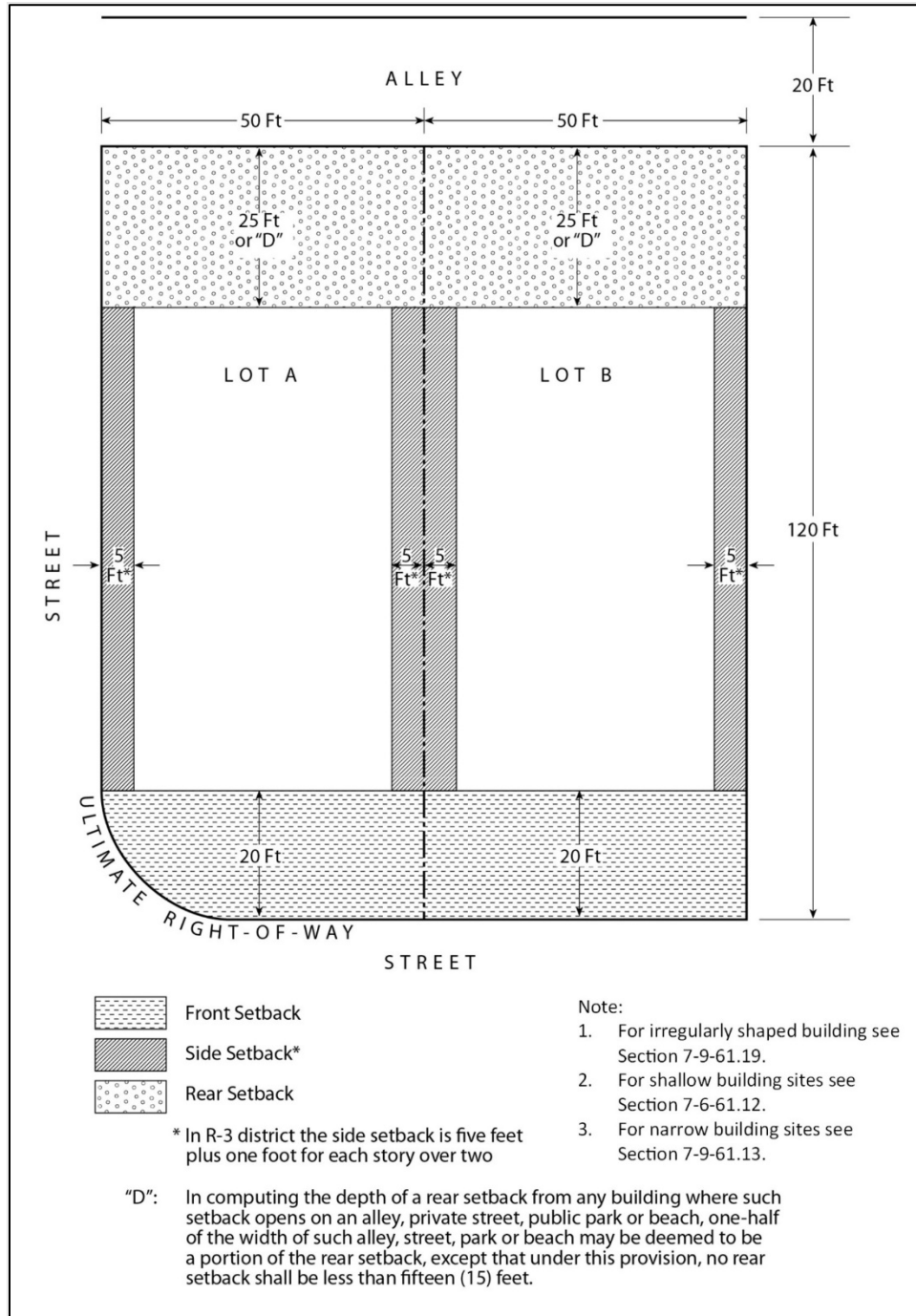
MX	0	0	0	0	0	5	0	10	0	10
SG	20	5	25	0	0	10	5	25	0	10
AGRICULTURAL, ESTATES AND RESIDENTIAL DISTRICTS										
	From Ultimate Street R/W Line			From Property Line Not Abutting Street		On Panhandle Building Site From Any				
District	Front	Side	Rear	Side	Rear	Property Line				
A1	20	5	25	5	25 or D	10				
AR	20	5	25	5	25 or D	10				
E1	45	20	50	20	50 or D	10				
RHE	10	8	25	8	25 or D	10				
E4	30	A	25	A	25 or D	10				
R1	20	5	25	5	25 or D	10				
R2	20	5	25	5	25 or D	10				
R3	20	B	25	B	25 or D	10				
R4	20	5	25	5	25 or D	10				
RE	40	A	25	A	25 or D	15				
RS	10	10	10	C	0	10				

*Required for one (1) side of building site only.

- A. Ten percent (10%) of average ultimate net width of building site—Maximum twenty (20) feet.
- B. Five (5) feet; add one (1) foot for each additional story over two (2).
- C. Ten (10) feet one (1) side only or ten (10) feet total of two (2) sides combined.
- D. In computing the depth or a rear setback from any building where such setback opens on alley, private street, public park, or public beach, one-half (0.5) of the width of such alley, street, park, or beach may be deemed to be a portion of the rear setback, except that under this provision, no rear setback shall be less than fifteen (15) feet.
- E. If no openings, such as windows, doors, and circulation vents, exist on the side of the building facing the property line, this setback may be reduced to fifteen (15) feet.
- F. Zoning Districts R2, R3, R4 subject to Sec.7-9-124.3

ILLUSTRATION A

Setbacks for Main Building – AR, A1, R1, R2, R3, R4

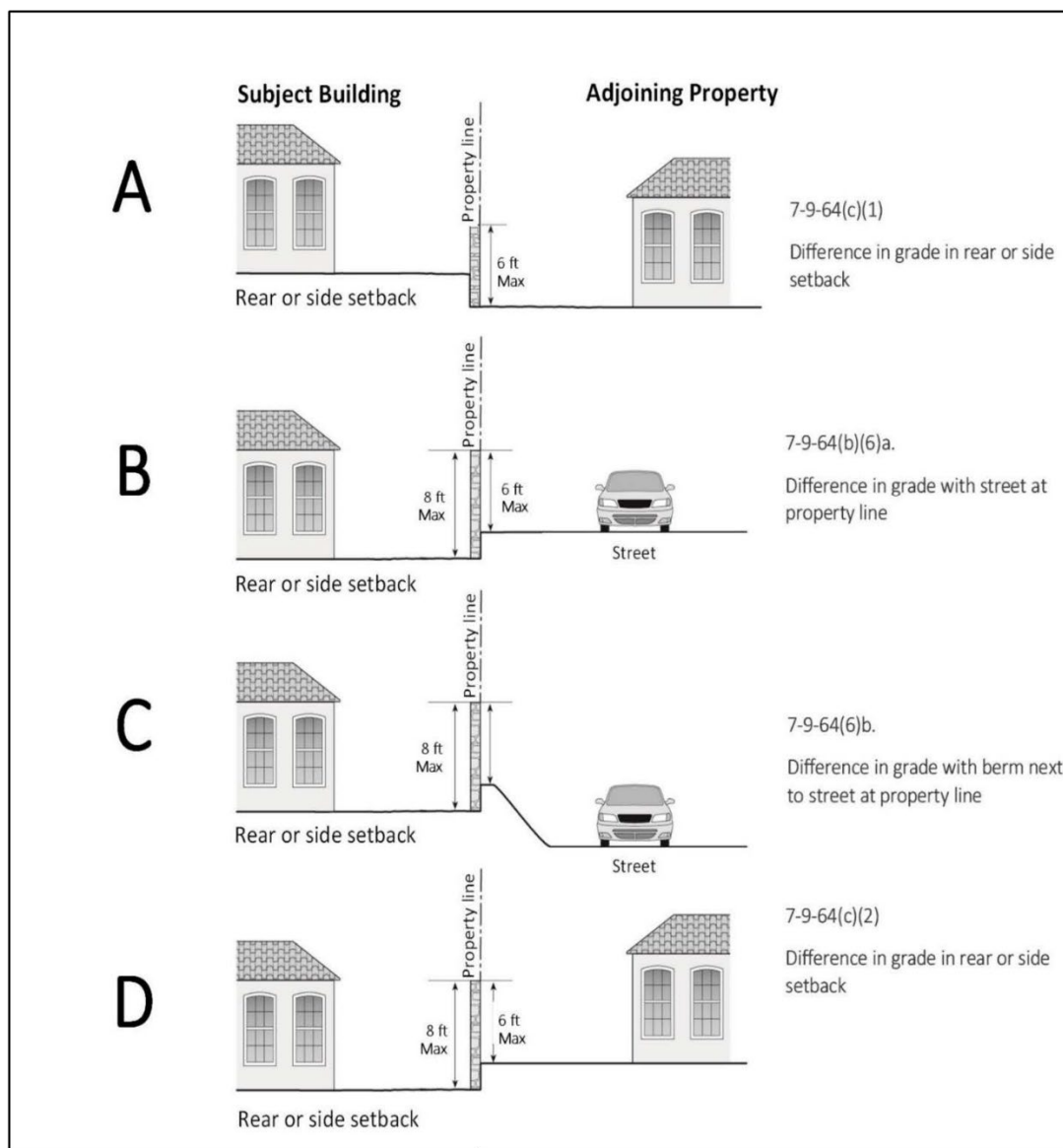


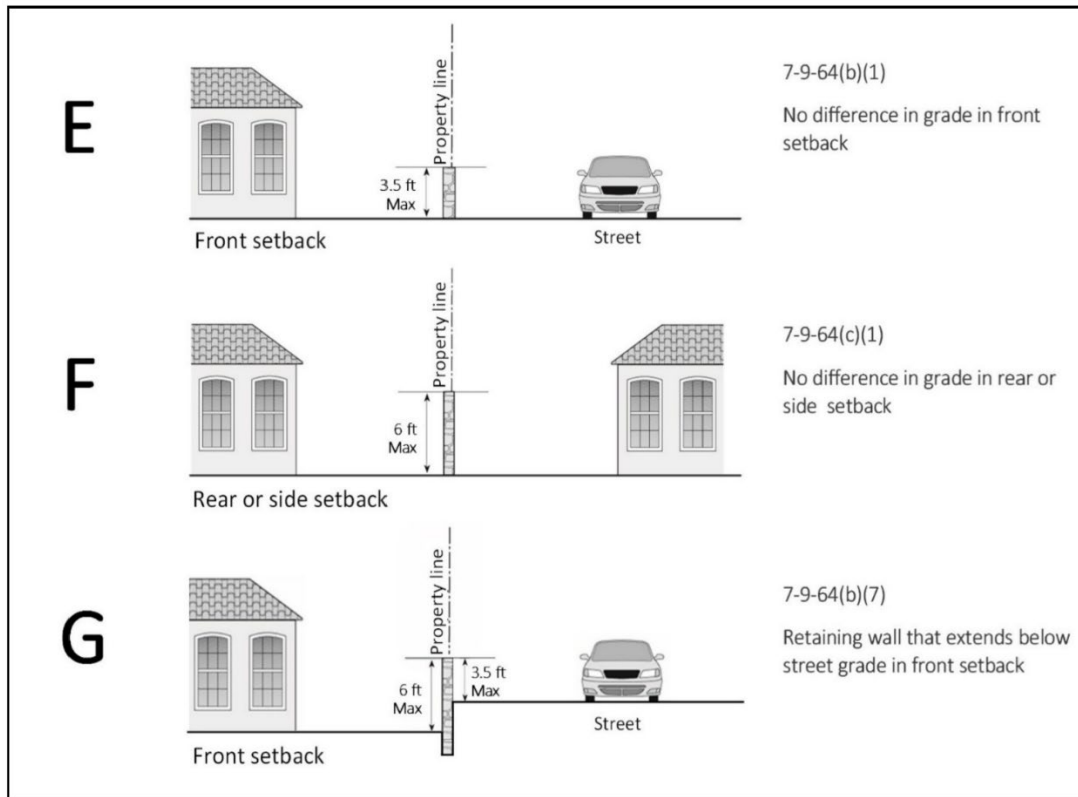
SECTION 21. Section 7-9-64 is hereby amended as follows:

Sec. 7-9-64. Fences, walls, and hedges.

The regulations in this section apply to any type of fence, wall, retaining wall, sound attenuation wall, or screen, in addition to the applicable requirements of the district in which it is located except for fences and walls that are located within the interior of an approved tract map and are part of the initial development of that tract map shall be exempt from these regulations. Subsections (d) and (e) only shall also apply to hedges, or thick growth of shrubs, bushes, or trees. Fence/wall heights shall be measured from the base of the fence/wall to the top on interior or exterior side, whichever is greater. See fence/wall heights illustration, Figure 7-9-64.

FIGURE 7-9-64 - PERMITTED FENCE/WALL HEIGHTS





- (a) *Main building area.* In the area where a main building may be constructed, the district building height regulations apply.
- (b) *Setback areas bordering streets.*
 - (1) The maximum height of solid fencing shall be three and (3.5) feet within any required front setback area up to a maximum depth of twenty (20) feet.
 - (2) The maximum height of open fencing and pilasters shall be a maximum of five (5) feet within any required front setback area.
 - (3) Fences located within a front setback shall not use chain-link fencing.
 - (4) The maximum height shall be six (6) feet within any rear or side setback area (through which no vehicular access is taken) adjoining a street.
 - (5) That portion of a building site where vehicular access rights have been dedicated to a public agency may have a six (6) feet high fence/wall.
 - (6) Fences/walls that the County requires for sound attenuation bordering freeways or major arterial highways may be six (6) feet high and as high as eight (8) feet if:
 - a. The freeway/major arterial is elevated two (2) feet or more above the building site elevation, or
 - b. The exterior side measurement of the wall is not more than six (6) feet in height.

- (7) Where the elevation of the street is higher than the front setback area, the maximum height of a retaining wall shall be three and one-half (3.5) feet within any required front setback area and the exposed area of the retaining wall shall be a maximum of six (6) feet.
- (c) *Setback areas not bordering streets.*
 - (1) The maximum height shall be six (6) feet within any required front, rear, or side setback area not adjoining a street.
 - (2) However, where the elevation of an adjoining building site to the side or rear is higher than the base of the fence or wall in the side or rear setback area, the height of the fence or wall may be measured from the elevation of the adjoining building site to the top of the fence or wall and in no case shall such fence or wall exceed eight (8) feet from the base of the fence/wall to the top.
- (d) *Access intersection area:* Notwithstanding "b" above, the maximum height shall be three and one-half (3.5) feet within five (5) feet of the point of intersection of:
 - (1) An ultimate street right-of-way line and an interior property line;
 - (2) An ultimate street right-of-way line and the edge of a driveway or vehicular accessway;
 - (3) An ultimate street right-of-way line and an alley right-of-way line; and
 - (4) The edge of a driveway or vehicular accessway and an alley right-of-way line.
- (e) *Street intersection areas:* Notwithstanding "b" above, the maximum height shall be three and one-half (3.5) feet within the triangular area formed by drawing a straight line between two (2) points located on, and fifteen (15) feet distant from, the point of intersection of two (2) ultimate street or highway right-of-way lines extended.

SECTION 22. Section 7-9-65 is hereby amended as follows:

Sec. 7-9-65. - Elevated driveway on steep topography.

Except as otherwise limited by the provisions of section 7-9-116, where the ground surface slopes down from the street providing vehicular access to a building site, an elevated driveway connecting the dwelling and garage with the street may be installed within the setback area in compliance with the following provisions:

- (a) The ground surface elevation of the building site along a line twenty (20) feet from and parallel to the street right-of-way line shall be a minimum of at least five (5) feet lower than the street elevation.
- (b) The maximum width of the driveway shall be twenty (20) feet.
- (c) A handrail not exceeding three and one-half (3.5) feet in height may be installed along the edges of the driveway.
- (d) A stairway may be constructed from the driveway to the ground surface.

SECTION 23. Section 7-9-66 is hereby amended as follows:

Sec. 7-9-66. - Grading and excavation.

- (a) Grading and excavation regulations adopted in a planned community text or a specific plan shall supersede this section.
- (b) A Site Development Permit issued pursuant to section 7-9-125 shall be required if any grading operation involves:
 - (1) More than ten thousand (10,000) cubic yards on a building site; or
 - (2) More than five hundred (500) cubic yards on a slope greater than thirty percent (30%).
- (c) A Site Development Permit shall not be required under the following conditions:
 - (1) Grading conducted in compliance with the following permits/approvals which authorize grading:
 - a. Sand and gravel site permit.
 - b. Tentative tract map.
 - c. Area Plan.
 - d. Use Permit.
 - e. Coastal Development Permit.
 - (2) Emergency grading to correct recent acts of nature in order to comply with the requirements of the Grading Code and Fire Code for public safety purposes and not related to new development.
- (d) For purposes of this section, the total number of cubic yards shall be the larger of cut (including any export) or fill (including any import).
- (e) No zone changes or discretionary permit per Zoning Code section 7-9-125 shall be approved for property on which a violation of the provisions of the Grading and Excavation Code exists, including work performed not in accordance with approved grading plans, unless conditioned to require such violation to be corrected or mitigated to the satisfaction of the Building Official prior to the issuance of any building permits.

SECTION 24. Section 7-9-70.3. is hereby amended as follows:

Sec. 7-9-70.- Off-street parking and loading regulations.**Sec. 7-9-70.3.- Off-street parking requirements for residential uses.**

TABLE 7-9-70.3: OFF-STREET PARKING REQUIREMENTS FOR RESIDENTIAL USES	
Use	Off-street parking spaces required
Attached or detached single-family dwellings Note: For purposes of this section this is only applicable for permits deemed as new	(a) Two (2) covered parking spaces required for each dwelling.

TABLE 7-9-70.3: OFF-STREET PARKING REQUIREMENTS FOR RESIDENTIAL USES

Use	Off-street parking spaces required
<p>construction; however, the conversion of a required parking space to living area will require replacing the removed parking space:</p> <ul style="list-style-type: none"> • A room such as a den, office, study, or craft room shall be considered a bedroom, as defined in Sec. 7-9-.135.1. • One-half (0.5) and greater parking spaces shall be rounded up, less than one-half (0.5) shall be rounded down. • All parking spaces are subject to location requirements in (e) below. 	<p>(b) In addition to parking required in (a) above, additional parking spaces shall be provided as follows:</p> <ol style="list-style-type: none"> (1) Those dwellings having less than an eighteen (18)-foot setback from the right-of-way (driveway), whichever is closest to the garage or carport, shall provide one (1) additional off-street parking space within two hundred (200) feet of the dwelling subject to location requirements in (f) "Location of residential parking spaces," below. (2) Those dwelling units located within a planned development shall provide an additional one-half (0.5) guest parking space per unit subject to (f) "Location of residential parking spaces," below. (3) Those dwellings with more than four (4) bedrooms shall provide an additional one-half (0.5) off-street parking space on the same parcel for each additional bedroom. In addition to the two (2) required covered spaces. If one additional space is required, it shall be covered and may be a tandem space. If more than one additional space is required, at least fifty percent (50 %) of the additional spaces shall be covered and may be tandem spaces. <p>(c) Those dwellings on streets that do not allow on-street parking shall provide one (1) additional off-street parking space within two hundred (200) feet of the unit subject to (f) "Location of residential parking spaces," below.</p>
<p>Two (2) or more dwelling units on one (1) building site (Multifamily)</p> <p>(Excluding accessory dwelling units)</p> <p>Note: For purposes of this section:</p> <ul style="list-style-type: none"> • A room such as a den, study or craft room shall be considered a bedroom, as defined in Sec. 7-9-135.1. 	<p>(a) Zero to one-bedroom dwelling units: One and one-half (1.5) off-street parking spaces for each dwelling unit. Except as otherwise provided in d. below, one (1) space shall be covered for each dwelling unit.</p> <p>(b) Two-bedroom dwelling units: Two (2) off-street parking spaces for each dwelling unit. Except as otherwise provided in d. below, one (1) of the spaces shall be covered for each dwelling unit.</p>

TABLE 7-9-70.3: OFF-STREET PARKING REQUIREMENTS FOR RESIDENTIAL USES

Use	Off-street parking spaces required
<ul style="list-style-type: none"> One-half (0.5) and greater parking spaces shall be rounded up, less than one-half (0.5) shall be rounded down. All parking spaces are subject to location requirements in (e) below. 	<p>(c) Three or more bedroom dwelling units: Two and one-half (2.5) off-street parking spaces for each dwelling unit, plus one-half (0.5) off-street parking space for each bedroom in excess of three (3). Except as otherwise provided in d. below, two (2) spaces shall be covered for each dwelling unit.</p> <p>(d) Notwithstanding the provisions of this subsection, the requirement that off-street parking spaces be covered is not applicable for multifamily projects of five (5) or more dwelling units.</p> <p>(e) Guest parking: In addition to the above, two-tenths (0.2) guest parking spaces per dwelling unit shall be provided.</p>
<p>Affordable housing</p> <p>For projects where 100% of the units, excluding the Manager's Unit, are affordable to households earning 80% or less of the Average Median Income (AMI) established by the California Department of Housing and Community Development (HCD) for the County of Orange</p>	<p>Parking standards for 100% affordable residential projects are set forth pursuant to applicable State law.</p>
<p>Senior housing</p> <p>(Also known as Senior Citizen Housing Development as defined by Civil Code 51.3 and 51.12, as may be amended.)</p>	<p>(a) Zero to one-bedroom dwelling units: One (1) off-street parking space</p> <p>(b) Two-bedroom to three-bedroom dwelling units: Two (2) off-street parking spaces</p> <p>(c) Four or more bedroom dwelling units: Two and one-half (2.5) off-street parking spaces for each dwelling unit</p> <p>(d) The number of required parking spaces shall be rounded up to the next whole number.</p> <p>(e) If there is any conflict between the senior housing parking requirements set forth in these zoning regulations and the senior housing parking requirements set forth in the State Density Bonus Law, the State Density Bonus Law parking requirements shall be used.</p>

TABLE 7-9-70.3: OFF-STREET PARKING REQUIREMENTS FOR RESIDENTIAL USES

Use	Off-street parking spaces required
Accessory dwelling units	<p>One (1) additional parking space per accessory dwelling unit per the standards set forth in section 7-9-90 is required, except in the instances listed below. These spaces may be provided as tandem parking on an existing driveway.</p> <p>No additional parking space is required for an accessory dwelling unit in any of the following instances:</p> <ul style="list-style-type: none"> (a) The accessory dwelling unit is located within one-half (0.5) mile of public transit. (b) The accessory dwelling unit is located within an architecturally and historically significant historic district. (c) The accessory dwelling unit is contained within the existing primary residence, an addition to the existing primary residence, newly built residence, or an existing accessory structure. (d) When on-street parking permits are required but not offered to the occupant of the accessory dwelling unit. (e) When there is a car share vehicle located within one block of the accessory dwelling unit. (f) If the accessory dwelling unit has no bedrooms (i.e., studio units).

SECTION 25. Section 7-9-70.9 is hereby amended as follows:

Sec. 7-9-70.- Off-street parking and loading regulations.

Sec. 7-9-70.9. - Alternatives to off-street parking regulations.

- (a) *Required Findings for Approval.* In addition to the required findings for approval of any Use Permit in section 7-9-126.2 Required Findings, an application for a Use Permit for a parking reduction shall only be approved if the decision-making body makes all of the findings of this section that are applicable to the particular project, as stated.
 - (1) All Projects. For any project for which a parking reduction is requested, the decision-making body make all of the following findings based on information in the record:
 - a. The use will adequately be served by the proposed parking demand requirement as determined in the parking study; and
 - b. If required, a parking study prepared by an independent traffic engineering professional approved by the County supports the proposed reduction.
 - (2) Shared (Joint) Parking. Where a shared parking facility serving more than one use is proposed, a parking study shall be required and the decision-making body shall only approve a parking reduction if it finds that:
 - a. The peak hours of use shall not overlap or coincide to the degree that peak demand for parking spaces from all uses shall be greater than the total supply of spaces;
 - b. The proposed shared parking to be provided shall be adequate to serve each use; and
 - c. A written agreement between landowner(s) and the County, in a form satisfactory to County Counsel, has been submitted to and approved by the Director. This agreement shall be in a form capable of and subject to being recorded to constitute a covenant running with the land and shall include:
 - 1. A guarantee that there shall be no substantial alteration in the uses that will create a greater demand for parking;
 - 2. A guarantee among the landowner(s) for access to and use of the shared parking facilities;
 - 3. A provision that the County may require parking facilities in addition to those originally approved upon a finding that adequate parking to serve the use(s) has not been provided; and
 - 4. A provision stating that the agreement shall not be modified or terminated without the approval of the Director.
 - (3) Other Parking Reductions. Use Permits to the Zoning Administrator for a parking reduction that do not involve a shared parking facility shall be approved by the decision-making body only if a finding can be made that special conditions including, but not limited to, the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working, or visiting the site; or because

the applicant has undertaken a transportation demand management program shall reduce parking demand at the site below the level of the normal requirement.

- (b) *Monitoring of TDM Programs.* Any project that is granted a parking reduction based on measures that intended to reduce parking demand shall submit an Annual Status Report to the County. The report shall be in a manner prescribed by the Director, and shall describe the implementation and maintenance of trip reduction measures and the parking demand generated by the project. Annual Status Reports shall be reviewed to determine if property owners have implemented and/or maintained the trip reduction program. The Director may request auditable documentation to determine compliance.

SECTION 26. Section 7-9-87.1 is hereby amended as follows:

Sec. 7-9-87. - Density bonus and other incentives.

Sec. 7-9-87.1. - Purpose and intent.

This section is intended to comply with the requirements of California Government Code Section 65915 et seq. ("State Density Bonus Law"), and Government Code Section 65915, et seq., as may be amended from time to time, regarding the provision of a density bonus or other incentives to facilitate the production of affordable housing, senior citizen housing, or child care facilities. The amount of density bonus and the number and type of incentives shall be determined in a manner consistent with State Density Bonus Law and Government Code Section 65915, as may be amended from time to time.

SECTION 27. Section 7-9-87.2 is hereby amended as follows:

Sec. 7-9-87. - Density bonus and other incentives.

Sec. 7-9-87.2. - General provisions.

- (a) *State law governs.* When a conflict occurs between the provisions of this section and State law, State law *shall* govern.
- (b) *Compatibility.* Affordable and market-rate units shall be comparable in appearance, materials, and finish quality. Affordable units shall also be dispersed throughout the entire development.
- (c) *Density compliance plan.* A "Density Bonus Compliance Plan" shall be approved concurrently with approval of the project requesting a density bonus or other incentive. This Density Bonus Compliance Plan shall stipulate the terms of the affordability and/or occupancy requirements on the housing development, including, but not limited to, the duration of the restrictions. Compliance with the terms of this Density Bonus Compliance Plan shall be monitored on a regular basis by the County of Orange. The Plan shall be recorded as a restriction on the parcel or parcels on which the affordable housing units shall be constructed.
- (d) *Construction with other applicable zoning regulations.* Notwithstanding any permitted density bonus or incentive granted pursuant to this section, any project receiving a density bonus hereunder shall otherwise be consistent with the applicable zoning and land use regulations and requirements, including permitted uses.
- (e) *Availability.* Affordable housing units shall be constructed concurrently with and made available for qualified occupants at the same time as market-rate units within the same project, unless both

the County and the developer agree in the Density Compliance Plan to an alternative schedule for development.

- (f) *Effect of granting density bonus.* The granting of a density bonus under this section shall not, in and of itself, be interpreted to require a General Plan amendment, Zoning Code or Zoning Map amendment, or other discretionary approval.
- (g) *Parking.* The developer may request to utilize the parking requirements set forth in State Density Bonus Law or the County's residential off-street parking requirements for affordable housing projects.

SECTION 28. Section 7-9-87.3 is hereby amended as follows:

Sec. 7-9-87. - Density bonus and other incentives.

Sec. 7-9-87.3. - Requirements and standards for granting a density bonus and incentives.

- (a) *Granting a density bonus and incentives for a mixed-use development project.* The granting of a density bonus and incentives for a mixed-use development project shall comply with the provisions of Government Code Section 65915.7, et. seq., as may be amended.
- (b) *Granting a density bonus and incentives for a housing development project.* The County shall grant one (1) density bonus when an applicant seeks and agrees to construct a housing development, excluding any units permitted by the density bonus awarded, that shall contain housing for any one of the following household income groups, as defined by State law.
 - (1) *Very Low Income Households.* A minimum of five percent (5%) of the total dwelling units of a housing development for very low income households Section 50105 of the Health and Safety Code, as may be amended.
 - (2) *Low Income Households.* A minimum of ten percent (10%) of the total dwelling units of a housing development for lower-income households as defined in Section 50079.5 of the Health and Safety Code, as may be amended.
 - (3) *Senior Citizen Housing Development.* A senior citizen housing development, as defined in Sections 51.3 and 51.12 of the Civil Code, as may be amended, or mobile home park that limits residency based on age requirements for housing for older persons, pursuant to Section 798.76 or 799.5 of the Civil Code, as may be amended.
 - (4) *Student Housing Developments.* A minimum of twenty percent (20%) of the total dwelling units for lower income students in housing developments for students, as defined by Government Code Section 65915, as may be amended.
 - (5) *Transitional Foster Youth, Disabled Veterans, or Homeless Persons Housing Developments.* A minimum of ten percent (10%) of the total dwelling units with rents restricted at very low income level in housing developments for: transitional foster youth as defined by the Education Code, Section 66025.9, as may be amended, disabled veterans as defined by Government Code Section 18541, as may be amended, or homeless persons as defined by the Federal McKinney-Vento Homeless Assistance Act (42 U.S.C. Sec. 11301 et seq., as may be amended.
 - (6) *For-Sale Housing Developments.* A minimum of ten percent (10%) of the total dwelling units in a common interest development, are sold to persons and families of moderate

income, as defined in Section 50093 of the Health and Safety Code, as may be amended, provided that all units in the development are offered to the public for purchase.

- (7) *100% Affordable Housing Development.* Pursuant to Government Code Section 65915, as may be amended, housing developments with one hundred percent (100%) of the units affordable to lower income households (excluding the manager's unit), except that up to twenty percent (20%) of the total units may be for moderate income households, are eligible for a density bonus of up to eighty percent (80%) of the number of lower income units.
- (c) *Second density bonus available.* A second density bonus may be available to projects meeting the requirements for the second density bonus under Government Code Section 659715, Subdivision (v).
- (d) *Calculation of density bonus(es).* The amount of bonus density to which a developer is entitled shall vary according to the amount by which the percentage of affordable housing units equals or exceeds the percentage established in State Density Bonus Law. The density bonus shall not be included when determining the number of housing units that are to be affordable. The calculation of the density bonus awarded shall be pursuant to Government Code Section 65915, et. seq., as may be amended.
- (e) *Incentives.* In addition to a density bonus, an applicant whose project meets the requirements of this section may request up to five (5) incentives pursuant to State Density Bonus Law. The calculation of the incentives awarded shall be pursuant to Government Code Section 65915, et. seq.

SECTION 29. Section 7-9-87.4 is hereby amended as follows:

Sec. 7-9-87. - Density bonus and other incentives.

Sec. 7-9-87.4. - Procedure.

A request for density bonus or other incentives pursuant to State Density Bonus Law shall be processed as part of an application in compliance with and subject to the provisions and requirements of section 7-9-125. No additional discretionary approval shall be required as a result of a request for or the granting of a density bonus or other incentive that is available pursuant to current State Density Bonus Law.

SECTION 30. Section 7-9-88 is hereby amended as follows:

Sec. 7-9-88. - Single room occupancy.

- (a) Single room occupancy (SRO) facilities shall be permitted in any district, planned community, or specific plan area zoned for hotels subject to the approval of a Use Permit by the Planning Commission per section 7-9-125.
- (b) SRO units shall have a minimum of one hundred (100) net square feet of space for a single occupancy and one hundred twenty (120) square feet for two (2) person occupancy. The calculation for net floor space in the sleeping area includes built-in cabinets, sinks, and closets, but excludes toilet compartments. A unit larger than two hundred twenty five (225) square feet shall be deemed an efficiency dwelling unit and not a SRO.

- (c) SRO facilities shall be treated as nonresidential uses. As such, section 7-9-87 does not apply and residential dwelling unit limitations (e.g., statistical summary) are not applicable.
- (d) Unless modified parking requirements are approved subject to the requirements of section 7-9-70.9, Alternatives to off-street parking regulations, the off-street SRO parking requirement shall be one-half (0.5) for each SRO unit, plus one (1) for each employee.
- (e) A management plan shall be submitted as part of the Use Permit application for review and approval by the Planning Commission. The management plan shall contain management policies, operations, emergency procedures, security program, rental procedures, maintenance plans, and staffing needs.
- (f) An on-site twenty-four-hour manager is required in every SRO project. In addition, a single manager's unit shall be provided which shall be designed as a complete residential unit, and be a minimum of two hundred twenty-five (225) square feet in size.

SECTION 31. Section 7-9-114.9 is hereby amended as follows:

Sec. 7-9-114. – Signs

Sec. 7-9-114.9. Permitted signs by zoning district.

- (a) Signs allowed in agricultural, open space, and residential districts.
 - (1) *Signs allowed without a permit.* The following signs are permitted without a permit in Agricultural, Open Space, and Residential Districts:
 - a. On any developed lot, permanent, non-illuminated freestanding signs, provided that:
 - b. The total area of all such signs shall not exceed one and one-half (1.5) square feet per lot.
 - c. No sign shall exceed six (6) feet in height.
 - d. Window signs, provided that the total area of the window signs does not exceed ten percent (10%) of the aggregate window area on a single side of a wall.
 - (2) *Signs allowed with a permit.* The following signs may be erected, maintained, and or displayed in any Agricultural and Open Space district with a Sign Permit:
 - a. Civic Activity Signs.
 - b. Freestanding Signs.
 - c. Projecting Signs.
 - d. Roof Signs.
 - e. Wall Signs.
 - (3) *Maximum sign area:* In Agricultural, Open Space, and Residential Districts, the maximum allowable, permittable sign area on a lot for permanent signs, exclusive of the area of exempt signs, is as follows:

- a. One (1) square foot of sign area is allowed for each linear foot of building frontage, up to a maximum of one hundred fifty (150) square feet for each sign and three hundred (300) square feet for all signs for each entity.
 - b. If the building frontage of any entity is less than fifty (50) feet, only one (1) sign having a maximum area of fifty (50) square feet shall be permitted.
- (b) Signs allowed in Mixed-Use and Commercial Districts, except CN.
 - (1) *Signs allowed without a permit.* The following signs are permitted without a permit on any developed lot in Mixed-Use and Commercial Districts, except CN:
 - a. Non-illuminated freestanding signs if:
 - 1. The total area of all such signs shall not exceed six (6) square feet per lot.
 - 2. No sign exceeds (six) 6 feet in height.
 - (2) *Signs allowed with a permit.* The following signs may be erected, maintained, and/or displayed in Mixed-Use and Commercial Districts except CN, with a sign permit:
 - a. Billboards subject to approval of a Use Permit.
 - b. Civic activity signs.
 - c. Freestanding signs.
 - d. Projecting signs.
 - e. Roof signs.
 - f. Wall signs.
 - (3) *Maximum sign area:* In Mixed-Use and Commercial Districts, except CN, the maximum allowable, permittable sign area on a lot for permanent signs, exclusive of the area of exempt signs, is as follows:
 - a. Two (2) square foot of sign area is allowed for each linear foot of building frontage, up to a maximum of one hundred fifty (150) square feet for each sign and six hundred (600) square feet for all signs for each entity.
 - b. If the building frontage of any entity is less than fifty (50) feet, only one (1) sign having a maximum area of fifty (50) square feet shall be permitted.
 - (4) *Signs allowed without a permit.* The following signs are permitted without a permit in Mixed-Use and Commercial Districts, except CN.
 - a. On any developed lot, permanent, non-illuminated freestanding signs, provided that:
 - 1. The total area of all such signs shall not exceed six (6) square feet per lot.
 - 2. No sign shall exceed 6 feet in height.
 - b. Window signs, provided that the total area of window signs does not exceed fifteen percent (15%) of the aggregate window area on a single side of a wall.
 - (5) *Signs allowed with a permit.* The following signs may be erected, maintained, and/or displayed in Mixed-Use and Commercial Districts except CN, with a Sign Permit:

- a. Billboards, with a Use Permit.
 - b. Civic activity signs.
 - c. Freestanding signs.
 - d. Projecting signs.
 - e. Roof signs.
 - f. Wall signs.
- (6) *Maximum sign area:* In Mixed-Use and Commercial Districts, except CN, the maximum allowable, permittable sign area on a lot for permanent signs, exclusive of the area of exempt signs, is as follows:
- a. Two (2) square foot of sign area is allowed for each linear foot of building frontage, up to a maximum of one hundred fifty (150) square feet for each sign and six hundred (600) square feet for all signs for each entity.
 - b. If the building frontage of any entity is less than fifty (50) feet, only one (1) sign having a maximum area of fifty (50) square feet shall be permitted.
- (c) Signs allowed in Employment, Industrial, and CN Districts.
- (1) *Signs allowed without a permit.* The following signs are permitted without a permit in Mixed-Use, Commercial, Employment and Industrial districts:
- a. On any developed lot, permanent, non-illuminated freestanding signs, provided that:
 - 1. The total area of all such signs shall not exceed six (6) square feet per lot.
 - 2. No sign shall exceed six (6) feet in height.
 - b. Window signs, provided that the total area of the window signs does not exceed fifteen percent (15%) of the aggregate window area on a single side of a wall.
- (2) *Signs allowed with a permit.* In the Employment, Industrial, and CN Districts, the following signs may be erected, maintained, and/or displayed with a sign permit:
- a. Billboards, only in the C1 and C2 Districts, subject to a Use Permit to the Zoning Administrator.
 - b. Civic activity signs.
 - c. Freestanding signs. In the CN District, no more than one freestanding sign is permitted on each lot.
 - d. Projecting signs, except in the CN district, where they are prohibited.
 - e. Roof signs, except in the CN district, where they are prohibited.
 - f. Wall signs. In the CN district, there shall be no more than one (1) wall sign per public entrance per each use.
- (d) Signs allowed in other districts. As provided in the Zoning Code.
- (e) Signs for specific uses. The following standards apply to specific uses. Signs shall also comply with the standards applicable to the district in which the use is located.

- (1) *Wind Energy Systems.* Signs located on wind energy systems shall be no larger than four (4) square feet, unless approved by the decision-making body, and shall not be located at the base of the system within ten (10) feet of the ground.
- (2) *Residential Tract Sales and Rentals:* Within an area of an approved tentative tract to be used solely for the first sale of homes or the first rental of apartments in projects of twenty (20) or more units within the same tract, or, in larger developments with an approved specific plan or approved planned community plan, for the first sale of homes or the first rental of apartments within a planning area when a planning area has been defined within the approved specific plan or approved planned community plan, signs are permitted subject to the following conditions:
 - a. Signs shall have a time limit of existence concurrent with the use of the permitted temporary offices.
 - b. Signs up to 64 sixty-four (64) square feet maximum in area are permitted at each street entrance.
 - c. Additional signage, exclusive of (3) above, is allowed but shall not exceed a total of one hundred (100) square feet in area.

SECTION 32. Section 7-9-116.1 is hereby amended as follows:

Sec. 7-9-116. - Accessory uses and structures.

These regulations apply to all districts, planned communities, and specific plan areas, unless otherwise specified.

Sec. 7-9-116.1. - General Standards.

- (a) *Permitted accessory uses and structures.* Accessory uses and structures shall be located on the same building site as the associated pre-existing principal use. In addition to the principal uses and structures expressly included in a zoning district, planned community, or specific plan, accessory uses and structures which are associated with and subordinate to a permitted and pre-existing principal use on the same building site and which are consistent with the purpose and intent of the applicable zoning district, planned community, or specific plan are permitted. Whenever there is a question as to whether a specific use or structure is permitted as an accessory use, the Director shall make the determination.
- (b) *Discretionary action required:* Accessory uses and structures shall be subject to a discretionary action per section 7-9-125 (i.e., approved permit, amended permit, or changed plan) when one (1) or more of the following apply:
 - (1) Required by other zoning regulations.
 - (2) The principal use is subject to a discretionary permit and the accessory structure is over six (6) feet in height, not including travel direction signs.
- (c) *Location of certain attached accessory structures.* Accessory structures that are attached to a main building, are enclosed, and are over eight (8) feet in height shall comply with the setback requirements for a main building, except as provided in this section.
- (d) *Location of other accessory structures.* The building face of any detached accessory structure shall be at least three (3) feet from the building face any other structure and the eaves or projections of any structures shall not be closer than two (2) feet apart. Accessory structures other than in (c)

above, shall be permitted anywhere on the same building site as the pre-existing primary use except within the following areas, unless otherwise permitted by this section:

- (1) Within the ultimate right-of-way.
 - (2) Within the area designated on an approved building line plan as a setback area applicable to accessory buildings.
 - (3) Within those areas where fences and walls are limited to a maximum height of three and one-half (3.5) feet, as specified in section 7-9- 64.
 - (4) Within the required front setback area unless provided for by a Use Permit approved by the Zoning Administrator.
 - (5) Within the panhandle portion of a panhandle building site.
- (e) *Height limit.* Accessory structures, which are within the required setback areas shall be limited to twelve (12) feet in height, unless sited within three (3) feet of a property line, in which case it shall be limited to eight (8) feet in height. However, the height limit may be increased to the maximum allowed in section 7-9-24.10 with a Use Permit approved by the Zoning Administrator.
- (f) *Building site coverage within setback areas.* Accessory structures shall be limited to the following site coverage within the required setback area:

Required Setback Area	Enclosed Structure	Unenclosed Structure
Front	0% (not allowed)	0% (subject to (g) below)
Rear	25%	50%
Side	25%	50%
Note: If any enclosed structure is located within a required setback area, all accessory structures within the required setback, whether enclosed or unenclosed, will be limited to the 25% rear coverage.		

- (g) Up to twenty-five percent (25%) building site coverage of the required front setback area shall be allowed for unenclosed structures if provided for by a Use Permit approved by the Zoning Administrator.
- (h) *Exempt structures.* The following accessory structures shall be exempt from the requirements of this section but are subject to compliance with all other provisions.
- (1) One (1) small, detached, non-habitable accessory structure, for every 7,200 square feet of building site area, that contain less than one hundred twenty (120) square feet of fully enclosed floor area, is located at least three (3) feet away from the rear and side property line, is placed at least six (6) feet away from another building or structure located on the

same property, and where no portion of the structure is greater than eight (8) feet in height. Only one of these structures shall be excluded when calculating for site coverage. Such structures shall not be located in any front yard area. Any additional non-habitable accessory structure up to 120 square feet will require a Zoning Land Use Certificate.

- (2) Flag poles that do not convey a commercial message and are no more than five (5) feet high, and are located at least three (3) feet from and rear or side property lined, and five (5) feet from any front property line.

SECTION 33. Section 7-9-117.9 is hereby amended as follows:

Sec. 7-9-117. – Temporary uses and structures.

Sec. 7-9-117.9. - Special gatherings.

The regulations of this section pertain to the temporary use of property for special gatherings, including but not limited to pageants, fairs, carnivals, commercial filming, and large athletic, religious, or entertainment events, except as covered by section 7-9-117.

Such activities are permitted, without regard for other land use regulations to the contrary, in any zoning district, planned community, or specific plan area in compliance with the following provisions:

- (a) Gatherings of greater than one hundred (100) people, spectators, and participants inclusive, shall require approval of a Site Development Permit per section 7-9-125.
- (b) A Zoning Use Certificate shall be required for gatherings of one hundred (100) people or less, spectators and participants inclusive, per section 7-9-125.11(a).
- (c) The temporary use shall be permitted for a period not to exceed ten (10) consecutive days. Events recurring more than four (4) times in a calendar year are not considered temporary.
- (d) The Director may require a cash bond or other guarantee for removal of the temporary use, cleanup, and restoration of the activity site within seven (7) days of the activity conclusion.
- (e) Applications for permits/certificates required by (a), (b), and (c) above shall be referred by the Director to other affected County agencies as may be appropriate for review and comment.
- (f) Related issues, including but not limited to police/security, food and water supply, use of tents and canopies, sanitation facilities, medical services, noise, signage, fire protection, and traffic control, shall be satisfactorily addressed as may be required by the Director, Sheriff, Fire Chief, or Health Officer in their administration of other County codes. Such other codes may require the applicant to obtain permits such as building, electrical, health and tent permits.
- (g) Farmers' Markets established and operated in compliance with County requirements are recurring outdoor gatherings that are not subject to regulation under this section.
- (h) Activities conducted on property owned by or leased to the County and public road rights-of-way may require an encroachment permit issued by the Director.

SECTION 34. Section 7-9-124 is hereby amended as follows:

Sec. 7-9-124. Ministerial permits and procedures.

The purpose of sections 7-9-124 through 7-9-124.4 is to define a set of procedures that are common to the application for, and processing of ministerial permits and approvals provided for in the Zoning Code, except as superseded by a specific requirement of the Zoning Code or State law.

Sec. 7-9-124.1 – Ministerial permits and procedures

Table 7-9-124.1: DECISION-MAKING BODIES FOR DECISIONS		
<i>Ministerial Permit/ Action Type</i>	<i>Code Section</i>	<i>Review/Decision- Making Body</i>
Short-term Rental Permit	7-9-93	Director
Group home	7-9-95.6	Director
Flexible Development Standards	7-9-124.2	Director
Affordable Housing Permit	7-9-124.3	Director

Sec. 7-9-124.2 Flexible Development Standards.

Purpose and Intent. The purpose of this section is to provide the Director with the authority to allow deviations from the minimum development standards for setbacks and height as otherwise set forth in this Ordinance provided that certain conditions exist. The intent of this section is to promote the orderly and efficient development and redevelopment of property within the County.

- (a) Application. The Flexible Development standards apply to multifamily developments that are in one of the following base multifamily or mixed-use zoning districts.
 - (1) R2 "Multifamily Dwellings" District.
 - (2) R3 "Apartment" District.
 - (3) R4 "Suburban Multifamily Residential" District.
 - (4) MX "Mixed-Use"
- (b) Flexible Development Standard Permit. Determination of the applicability of flexible development standards shall be subject to the approval of a Flexible Development Standard Permit.

- (c) The following flexible development standards may be applicable where adherence to setback and/or height requirements would preclude the properties' ability to meet the minimum density standards established by the zoning district:
 - (1) Setbacks. A reduction in the required setbacks set forth in Sec. 7-9-32.3 and Sec. 7-9-36.3, may be requested for a minimum of five (5) feet or up to a ten percent (10%) reduction, whichever is greater.
 - (2) Height. Requests for height increases may be made for up to sixty-five (65) feet in height.

Sec. 7-9-124.3- Affordable Housing Permit.

The purpose of the Affordable Housing Permit is to ensure a streamlined, by-right approval of eligible affordable rental housing and owner-occupied housing within the Mixed-Use and high-density residential districts in which the affordable housing units are reserved for households which earn eighty (80) percent or less of the County median income as verified by the County of Orange. The intent is to facilitate of affordable housing objectives presented in the Orange County Housing Element of the General Plan.

- (a) The Affordable Housing permit regulations apply to residential rental and owner-occupied projects of five (5) or more units that are at least twenty percent (20%) affordable that are located in one of the following base zoning districts.
 - (1) R2 "Multifamily Dwellings" District.
 - (2) R3 "Apartment" District.
 - (3) R4 "Suburban Multifamily Residential" District.
 - (4) C1 "Local Business "District.
 - (5) C2 "General Business" District.
 - (6) CN "Commercial Neighborhood" District.
 - (7) M1 "Light Industrial" District.
 - (8) MX "Mixed-Use" District
- (b) Residential projects that are one hundred percent (100%) affordable shall also conform to regulations in section 7-9-44.
- (c) In all cases, residential projects shall conform to all of the regulations in this section, including the site development standards.
- (d) Determination of the applicability of affordable housing development standards shall be subject to the approval of an Affordable Housing Permit.
- (e) Temporary uses permitted. Certain temporary uses, permitted per section 7-9-117, are allowed.
- (f) Accessory uses permitted. The following accessory uses and structures are permitted when associated with, and subordinate to, a permitted residential use on the same building site and when consistent with the approved Site Development Permit for the project and any other regulations in this Zoning Code that apply. Accessory uses ancillary

to the primary permitted use shall not to exceed twenty five percent (25%) of total floor area of the permitted primary use.

- (1) Garages and carports.
 - (2) Fences and walls.
 - (3) Patio covers.
 - (4) Swimming pools.
 - (5) Signs per section 7-9-114 except no roof signs or projecting signs.
 - (6) Noncommercial keeping of pets and animals.
 - (7) Home occupations.
 - (8) Manager's unit, which is exempt from affordability requirements.
 - (9) Child day care center/early education facility per the Housing Opportunities Manual.
 - (10) General administrative office permitted only if ancillary to the primary permitted.
 - (11) Accessory uses and structures that the Director finds are consistent with the design of the project and the purpose and intent of these overlay regulations.
- (h) Site Development Standards. The site development standards for affordable housing residential uses shall be as follows.
- (1) For sites located within the Mixed-Use or multifamily residential zoning district, the base district site development standards shall apply.
 - (2) For sites located within a commercial or industrial zoning district, the site development standards for the R3 "Apartment" District shall apply.
 - (3) The parking requirements set forth in State Density Bonus Law or other applicable State law.
 - (4) Other standards as may be provided in the Orange County Housing Opportunities Manual.
- (i) Density bonuses, development incentives, and/or waivers of development standards may be granted pursuant to section 7-9-87.

SECTION 35. Section 7-9-125 is hereby amended as follows:

Sec. 7-9-125. - Discretionary permits and procedures.

The purpose of sections 7-9-125 through 7-9-125.12 is to define a set of procedures that are common to the application for and processing of all discretionary permits and approvals provided for in the Zoning Code, except as superseded by a specific requirement of the Zoning Code or State law.

SECTION 36. Section 7-9-135.1 is hereby amended as follows:

Sec. 7-9-135. Definitions.**Sec. 7-9-135.1. Title, purpose, and applicability.**

The purpose of these provisions is to promote consistency and precision in the interpretation of the Comprehensive Zoning Code. The meaning and construction of words and phrases as set forth shall apply throughout this Code, except where the context of such words or phrases clearly indicates a different meaning or construction. Definitions contained in specific Zoning Code provisions are to be used specifically for those sections and shall supersede conflicting definitions contained in section 7-9-135.

Bedroom. Any room located in a dwelling unit or accessory dwelling unit that can be used for sleeping purposes designed to provide privacy for the occupant. Due to the layout of the floor plan, rooms designated as dens, lofts, studios, game rooms, home offices, libraries, craft rooms, or other similar habitable spaces, may be considered a bedroom unless the adjacent areas are separated by an unframed opening which is at least five (5)' wide or where the shared/common is at least fifty percent (50%) open and unobstructed to the adjacent room, whichever is greater. The decision-making body for the proposed use shall determine how many bedrooms are in a dwelling unit.

Density, residential.

- (a) *Gross.* The number of dwelling units per total project acreage.
- (b) *Net.* The number of dwelling units per acre of project net development area (i.e., building site area). Calculated by dividing the square footage of the project net development area by the minimum area required per dwelling unit (sq ft).

Ministerial permit. A permit for development approval involving little or no personal judgment by the public official as to the wisdom or manner of carrying out the project. The permit is approved if the proposed development meets all of the objective zoning or building standards in effect at the time the permit is submitted.

Net Development Area. See "project net development area."

Single room occupancy (SRO). A building with a common entrance containing a cluster of at least five (5) rental units which provide sleeping and living facilities for one (1) or two (2) persons where kitchen and/or bathroom facilities may be shared. See section 7-9-88, "Single room occupancy."

Site. A lot, or group of contiguous lots, that is proposed for development in accordance with the provisions of this Code and is in a single ownership or under unified control. See "building site."

SECTION 37. This Ordinance shall take effect and be in full force thirty (30) days from and after its passage, and before the expiration of fifteen (15) days after the passage thereof shall be published once in an adjudicated newspaper in the County of Orange.

RESOLUTION NO. 2024-01
RESOLUTION OF THE PLANNING COMMISSION OF
ORANGE COUNTY, CALIFORNIA
May 8, 2024

On Motion of Commissioner Bartlett, duly seconded and carried, the following Resolution was adopted:

WHEREAS, the County of Orange is in the process of completing its Housing Element Update for the 6th Housing Element Update Cycle, as mandated by State law; and

WHEREAS, the 6th Cycle Housing Element Update (2021-2029) will provide goals, policies, and objectives the County will pursue in order to meet its existing and projected housing needs for the next eight-year planning period, including a land inventory addressing the County's allocation of the Regional Housing Needs Assessment (RHNA) assigned by Southern California Association of Governments (SCAG); and

WHEREAS, the Housing Element Update will specifically (1) analyze existing housing stock, projected housing needs, and availability of housing for special needs groups; (2) provide a Land Inventory (an inventory of land suitable for residential development); (3) identify and analyze potential and actual barriers to the construction of new housing units; and (4) identify specific programs the County will undertake to achieve its stated goals and objectives; and

WHEREAS, the County's Land Inventory must include sites realistically available for housing development during the 6th Housing Element Cycle and these sites must be zoned to provide enough density to adequately accommodate the County's RHNA allocation of 10,406 new housing units at all income levels; and

WHEREAS, in the Housing Element, the County must also include a description of the programs it will implement to ensure the housing needs of the unincorporated area will be met during the 6th Housing Element Cycle including how the County will facilitate the construction of 10,406 new housing units; and

WHEREAS, one of the programs included in the Housing Element Update is designed to facilitate the development of housing that meets the needs of all segments of the population including affordable housing and households with specialized needs; and

WHEREAS, in the Comprehensive Zoning Code, the County must account for new and updated legal requirements when using non-vacant sites to cover the County's RHNA obligation for all income categories. Specifically, under Government Code Section 65583.2, the County can demonstrate realistic capacity for RHNA purposes by re-zoning or updating development standards to allow for a minimum site density of 30 dwelling units per acre; and

WHEREAS, OC Development Services staff propose amendments to the multifamily site development standards in the County's Comprehensive Zoning Code and rezoning of specific residential professional and commercial parcels to demonstrate realistic capacity to meet the County's RHNA; and

WHEREAS, modifying site development standards of multifamily zoning districts to comply with mandated minimum densities, converting commercial districts to mixed-use, and changing the zoning applied to specific parcels also requires an amendment of the County's Land Use Element to ensure internal consistency; and

WHEREAS, in addition, minor technical revisions to the Comprehensive Zoning Code are proposed; and

WHEREAS, on February 14, 2024, the Planning Commission approved authorization to initiate proposed General Plan Amendment LU 24-01 (Land Use Element), Zoning Code Amendment CA 24-01 (Multifamily development standards), and Zone Change ZC 24-01 (Specific Commercial and Residential Sites) (collectively, the "Amendments"); and

WHEREAS, on April 10, 2024, the Planning Commission conducted a study session to receive a presentation from staff and comments from members of the public concerning the Amendments; and

WHEREAS, on May 8, 2024, the Planning Commission conducted a public hearing regarding proposed the Amendments ; and

WHEREAS, the Planning Commission reviewed and fully considered the proposed Amendments, heard, and considered the public comments that were presented to it at the public hearing and has determined after review and consideration to recommend adoption by the Board of Supervisors of proposed General Plan Amendment LU 24-01 (Land Use Element), Zoning Code Amendment CA 24-01 (Multifamily development standards), and Zone Change ZC 24-01 (Specific Commercial and Residential Sites).

NOW, THEREFORE, BE IT RESOLVED THAT THE PLANNING COMMISSION RECOMMENDS THE BOARD OF SUPERVISORS:

1. Find the circumstances of this project are substantially the same as Initial Study/Negative Declaration (IS/ND) No. IP 22-0133, and Addendum No. 1 to Initial Study/Negative Declaration (IS/ND) No. IP 22-0133 includes minor changes or additions necessary, and both documents adequately address the effects of the proposed Project. No substantial changes have been made in the Project, no substantial changes have occurred in the circumstances under which the Project is

being undertaken, and no new information of substantial importance to the Project which was not known or could not have been known when Initial Study/Negative Declaration (IS/ND) No. IP 22-0133, and Addendum No. 1 to Initial Study/Negative Declaration (IS/ND) No. IP 22-0133, were adopted have become known; therefore, no further environmental review is required.

2. Adopt General Plan Amendment LU 24-01 – Land Use Element, to ensure consistency between the General Plan and Zoning Code.
3. Adopt Zoning Code Amendment 24-01 – Multifamily Site Development Standards and Technical Revisions to modify certain multifamily residential development standards and make technical modifications.
4. Adopt Zone Change ZC 24-01 – Change Zoning of Specific Residential Professional and Commercial Sites.

The foregoing resolution was passed and adopted by the following vote of the Orange County Planning Commission, on May 8, 2024, to wit:

Ayes: David, E. Bartlett, Maria Ceja, Trung Joe Ha, John Koos, Kevin Rice

Noes:

Excused:

Abstained:

I HEREBY CERTIFY that the foregoing Resolution No. 2024-01 was adopted on May 8, 2024, by the Orange County Planning Commission.



Justin Kirk
Executive Officer, Orange County Planning Commission

Resolution No. 2024-01

Attachments:

- A. Initial Study/ Negative Declaration (IS/ND) No. IP 22-0133
- B. Addendum No. 1 to Initial Study/ Negative Declaration (IS/ND) No. IP 22-0133
- C. Proposed General Plan Amendment LU 24-01 (Land Use Element) – Strikethrough Version

- D. Zoning Code Amendment CA 24-01 (Multifamily development standards) – Strikethrough Version
- E. Proposed Zone Change ZC 24-01 (Specific Commercial and Residential Sites) – List of Affected Parcels and Maps

Date of Adoption: May 8, 2024

BOS ASR – Ordinance – Exhibit D – List of Exempt Parcels – Zone Change ZC 24-01

Assessor's Parcel Number (APN)	Site Address
COSTA MESA ISLAND	
119-200-11	20382 Newport Boulevard, Costa Mesa, CA 92627
439-101-40	2651 Irvine Avenue, Costa Mesa, CA 92627
SILVERADO CANYON	
876-032-05	Not Available
105-070-59	28251 Silverado Canyon Road, Silverado, CA 92676
105-070-60	Not Available
876-032-06	28231 Silverado Canyon Road, Silverado, CA 92676
876-033-01	Not Available
876-033-02	28000 Silverado Canyon Road, Silverado, CA 92676
876-033-03	28222 Silverado Canyon Road, Silverado, CA 92676
876-033-04	28192 Silverado Canyon Road, Silverado, CA 92676
876-033-05	28180 Silverado Canyon Road, Silverado, CA 92676
876-033-06	28185 Thisa Way, Silverado, CA 92676
876-033-07	Not Available
876-033-08	28189 Thisa Way, Silverado, CA 92676
876-033-09	28201 Bytha Way, Silverado, CA 92676
876-033-10	28211 Bytha Way, Silverado, CA 92676
876-033-11	28221 Bytha Way, Silverado, CA 92676
876-033-25	28240 Bytha Way, Silverado, CA 92676
876-034-02	28054 Silverado Canyon Road, Silverado, CA 92676
876-034-03	28062 Silverado Canyon Road, Silverado, CA 92676
876-034-04	28106 Silverado Canyon Road, Silverado, CA 92676
876-034-05	28162 Silverado Canyon Road, Silverado, CA 92676
876-034-06	Not Available
876-034-07	27900 Whila Way, Silverado, CA 92676
876-034-08	28000 Hidea Way, Silverado, CA 92676
876-034-09	28000 Hidea Way, Silverado, CA 92676
876-034-10	28151 Hidea Way, Silverado, CA 92676
876-034-11	28161 Hidea Way, Silverado, CA 92676
876-051-01	28272 Silverado Canyon Road, Silverado, CA 92676
876-051-02	28282 Silverado Canyon Road, Silverado, CA 92676
876-051-03	28306 Silverado Canyon Road, Silverado, CA 92676
BANNING RANCH	
114-170-77	Not Available
114-170-80	Not Available
424-041-04	Not Available